

14-UNIT MULTIFAMILY BUILDING

2512 CENTINELA AVE

LOS ANGELES, CA 90064

1.1-EXISTING ZONING AND SITE INFORMATION

A. ZONING INFORMATION	
1. PROJECT ADDRESS	2512 CENTINELA AVE., LOS ANGELES, CA 90064
2. OWNER	-
3. APN#	4257024038
4. TRACT	TR 7782
5. MAP REFERENCE	M B 85-63
6. BLOCK	NONE
7. LOT	19.20
8. GENERAL LAND USE	MEDIUM RESIDENTIAL
9. EXISTING UNITS	-
10. COMMUNITY PLAN AREA	PALMS - MAR VISTA - DEL REY
11. SPECIFIC PLAN	EXPOSITION CORRIDOR TRANSIT NEIGHBORHOOD PLAN
12. TOC DESIGNATION	TIER-3
13. LOT AREA PER ZIMAS	5,486.7 SF (PER ZIMAS) + 499.05 SF (1/2 ALLEY) = 5,985.75 SF
14. ZONE	R3-1
15. BASE DENSITY	800 SF/UNIT = 6,000 SF (INCLUDING 1/2 ALLEY) / 800 = 7.5
16. BASE F.A.R.	3 : 1
17. HEIGHT LIMIT PER ZONING	45'
18. REQUIRED YARDS	
FRONT YARD	15'-0"
REAR YARD	15'-0"
SIDE YARD	8'-0"
19. BUILDABLE SF	3,591 SF (CALC ON SHEET 2/T-02)
20. MAX ZONING SF	10,773 SF (3,591 SF X 3.0 F.A.R.)

1.2-PROPOSED PROJECT ZONING INFORMATION

A. PROPOSED TOC-3 INCENTIVES	
21. TOC BASE INCENTIVES	
21.1 DENSITY (40% INCREASE)	14 UNITS (8 BASE UNITS * 0.7 DENSITY INCREASE = 5.6 + 8 = 13.6, ROUNDED UP)
21.2 PARKING (0.5 SPACES PER UNIT)	7 STALLS MINIMUM (14 UNITS X 0.5 STALLS/UNIT)
21.3 F.A.R. (50% INCREASE)	3.72 : 1 (13,373.4 : 3,591)
21.4 PROPOSED BUILDING AREA	13,373.4 SF
21.5 AFFORDABLE UNITS	2 VERY LOW (VL) INCOME UNITS (14%) (14 UNITS x 0.14) = 1.96 = 2 (ROUNDED UP)
22. TOC TIER-3 ADDITIONAL INCENTIVES	
22.1 SIDEYARD SETBACKS 30% REDUCTION (TWO SIDEYARDS)	5.6' (8.0' - 0.3(8) = 5.6' (5'-7 1/4"))
22.2 HEIGHT INCREASE	45'-0" BY ZONING + 22'-0" INCREASE = 67'-0" MAX BUILDING HEIGHT
B. PROPOSED PROJECT	
23. PROPOSED DENSITY	14 UNITS (ROUNDED UP FROM 13.6)
24. PROPOSED F.A.R.	3.72 : 1
25. PROPOSED HEIGHT	53'-0" (56' - 0" ADDITIONAL SETBACKS REQUIRED)
26. PROPOSED STORIES	5 STORIES AND 1 LEVEL UNDERGROUND PARKING
27. PROPOSED SIDE YARDS	5' - 7 1/4"
28. PROPOSED PARKING	13 STALLS (10 STANDARD, 3 COMPACT)

1.3-PROPOSED PROJECT BUILDING INFORMATION

A. ADDITIONAL INFORMATION	
29. PROJECT DESCRIPTION	CONSTRUCTION OF NEW 5-STORY MULTI-FAMILY BUILDING CONSISTING OF 14 UNITS AND 7 PARKING SPACES.
30. BUILDING OCCUPANCY	R2 (MULTI-FAMILY) / S2 (PARKING GARAGE)
31. CONSTRUCTION TYPE	5-STORIES TOTAL, 1 STORIES TYPE III-A RESIDENTIAL OVER 1 STORY TYPE I-A PARKING AT GRADE AND 1 LEVEL UNDERGROUND
32. APPLICABLE CODES	2022 CBC W/ 2022 CITY OF LA AMENDMENTS
33. FIRE SPRINKLER	FULLY SPRINKLERED PER NFPA-13 THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM. COMPLYING WITH NFPA-13, THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV PRIOR TO INSTALLATION
34. FIRE ALARM	MANUAL FIRE ALARM SYSTEM

1.4-CHAPTER 5 COMPLIANCE

2-UNIT MIX SUMMARY

UNIT NUMBER	UNIT TYPE	AREA
2ND FLOOR		
UNIT 201	1 BDR + DEN	639.1 SF
UNIT 202	1 BDR	595.5 SF
UNIT 203	1 BDR	600.8 SF
UNIT 204	1 BDR + DEN	688.9 SF
3RD FLOOR		
UNIT 301	1 BDR + DEN	639.1 SF
UNIT 302	1 BDR	595.5 SF
UNIT 303	1 BDR	600.8 SF
UNIT 304	1 BDR + DEN	688.9 SF
4TH FLOOR		
UNIT 401	1 BDR + DEN	639.1 SF
UNIT 402	3 BDR	1,143.5 SF
UNIT 403	1 BDR + DEN	691.5 SF
5TH FLOOR		
UNIT 501	1 BDR + DEN	639.1 SF
UNIT 502	3 BDR	1,143.5 SF
UNIT 503	1 BDR + DEN	691.5 SF
TOTAL UNITS: 14		9,996.9 SF

UNIT MIX		
UNIT TYPE		COUNT
1 BDR		4
1 BDR + DEN		8
3 BDR		2

3-COMMON OPEN SPACE

COMMON OPEN SPACE CALCULATIONS:			
1 - REQUIRED COMMON OPEN SPACE AREA			
TYPE	# UNITS	SF	TOTAL SF
1 BEDROOM UNITS	4	x 100 SF	400
1 BEDROOM UNITS + DEN	8	x 125 SF	1,000
3 BEDROOM UNITS	2	x 175 SF	350
TOTAL REQUIRED			1,750
2 - PRIVATE OPEN SPACE - PROVIDED			
TYPE	ACTUAL SQ. FT.		TOTAL SF
BALCONY @ UNIT#			
204	52.54		50.0
304	52.54		50.0
403	52.54		50.0
503	52.54		50.0
TOTAL PRIVATE OPEN SPACE PROVIDED			200
3 - COMMON OPEN SPACE - PROVIDED			
TYPE	ACTUAL SQ. FT.	REDUCTION %	TOTAL SF
1ST FLOOR REC ROOM	1,166.52	REDUCTION 25%	291.5
OPEN ROOF DECK	2		1,347.26
TOTAL COMMON OPEN SPACE PROVIDED			1,638.76
4 - TOTAL			
COMMON OPEN SPACE REQUIRED			1,750 SF
COMMON OPEN SPACE PROVIDED			1,638.76 SF + 200 SF = 1,838.76 SF

4-VEHICLE AND BICYCLE PARKING

A. REQUIRED VEHICLE PARKING	
RESIDENTIAL	
TOC TIER-3	
1. REQUIRED RESIDENTIAL PARKING :	14 UNITS X 0.5 STALLS/UNIT = 7 STALLS

PROVIDED VEHICLE PARKING			
RESIDENTIAL			
	P1	L1	TOTAL
STANDARD	8	2	10
TANDEM	2	1	3
TOTAL	-	-	13
EV	2	1	3
ADA	0	1	1

B. EV PARKING	
REQUIRED	
PER LAGBC 4.106.4.2 (2020) AND LAGBC 4.106.4.4 (2020)	
REQUIRED EV-CAPABLE RESIDENTIAL:	2.1 STALLS (0.30 * 7 STALLS)
TOTAL REQUIRED	3 STALLS (INCLUDING EV-READY STALLS)
REQUIRED EV-READY RESIDENTIAL:	0.7 STALLS (0.10 * 7 STALLS)
TOTAL REQUIRED	1 STALLS
PROVIDED	
PROVIDED EV-CAPABLE RESIDENTIAL:	- 2 STALLS
PROVIDED EV-READY RESIDENTIAL:	- 1 STALL

C. BICYCLE PARKING	
PER LAMC 12.21 A.16(a)(1)(i)	
REQUIRED (SHORT TERM):	
1-25 UNITS :	14/10 = 1.4
GRAND TOTAL :	= 2 SHORT TERM (ROUNDED UP)
REQUIRED (LONG TERM):	
1-25 UNITS :	14/1 = 14
GRAND TOTAL :	= 14 LONG TERM
PROVIDED (SHORT TERM):	2
PROVIDED (LONG TERM):	16

5-FLOOR AREA-ZONING CODE

LEVEL	AREA (SF)
1ST FLOOR	2027.70 SF
2ND FLOOR	2836.70 SF
3RD FLOOR	2835.60 SF
4TH FLOOR	2836.70 SF
5TH FLOOR	2836.70 SF
TOTAL: 5	13373.40 SF

SEE SHEET T031 FOR ZONING SQUARE FOOTAGE DIAGRAMS AND AREA SCHEDULES PER FLOOR

BASED ON LAMC SEC. 12.03 DEFINITIONS: FLOOR AREA (AMENDED BY ORD. NO. 192,306, EFF. 3/13/13) THE AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING-OPERATING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE DEDICATED TO BICYCLE PARKING, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.

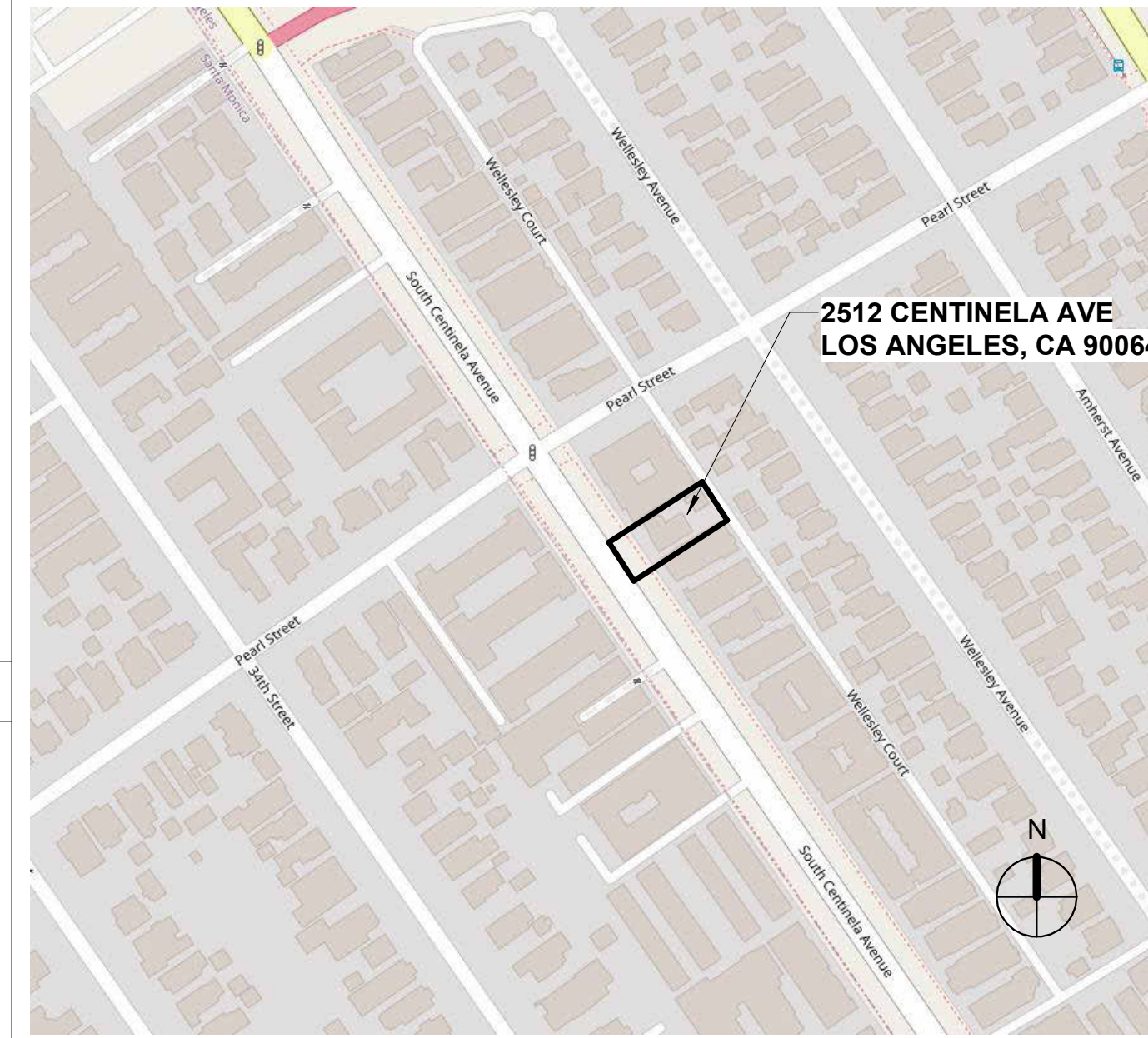
6-FLOOR AREA ANALYSIS

BUILDING AREA ANALYSIS SUMMARY		
LEVEL NAME	BLDG AREA TYPE	AREA
P1 SUBTERRANEAN		3978.59 SF
1ST FLOOR		1992.61 SF
1ST FLOOR		987.18 SF
2ND FLOOR		3160.55 SF
3RD FLOOR		3160.10 SF
4TH FLOOR		3160.10 SF
5TH FLOOR		3160.10 SF
TOTAL		19599.22 SF

SEE SHEET T041 FOR BUILDING AREA ANALYSIS SQUARE FOOTAGE DIAGRAMS AND AREA SCHEDULES PER FLOOR

7-SCHOOL FEES

8-VICINITY MAP



9-DRAFTING SYMBOLS

SYMBOL	KEY NOTE
(X)	KEY NOTE
ATAT1	ELEVATION REFERENCE
XXX	SECTION REFERENCE
[]	DETAIL INDICATION
[]	DETAIL SECTION INDICATION
XX	DOOR TAG
XX-XX	GENERAL FINISH INDICATION
XXX X - X	CEILING FINISH INDICATION
LEVEL +XX-XX"	ELEVATION INDICATION
XX	WINDOW TYPE
XX	WALL TYPE

10-ABBREVIATIONS

(E), EX, EXISTING	HR	HR	HR
EXIST	MSTR	MSTR	MASTER
(N)	N/A	N/A	NOT APPLICABLE
AB	NIC	NIC	NOT IN CONTRACT
AFF	NTS	NTS	NOT TO SCALE
ALT	OC	OC	ON CENTER
ALUM	OFCI	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
B	OPP	OPP	OPPOSITE
BDR	PL	PL	PLATE
BM	PT	PT	PRESSURE TREATED
BO	PTD	PTD	PAINTED
C/L	PW,	PW,	PLYWOOD
CBC	PYWD	PYWD	PLYWOOD
CF	R.	R.	RISER
CJ	RCP	RCP	REFLECTED CEILING PLAN
CL	RDG	RDG	RIDGE
CLG	RO	RO	ROUGH OPENING
CLR	RR	RR	ROUGH OPENING
CONN	RTD	RTD	RATED
D, DIA	SB	SB	SOLID BLOCKING
DBL	SC	SC	SOLID CORE
DR	SF	SF	SQUARE FEET
EE	SIM	SIM	SIMILAR
EN	SSD	SSD	SEE STRUCTURAL DRAWINGS
EQ	ST STL	ST STL	STAINLESS STEEL
FB	T&G	T&G	TONGUE AND GROOVE
FF	T.	T.	TREAD
FJ	TBD	TBD	TO BE DETERMINED
FN	THRES	THRES	THRESHOLD
FTG	H	H	
GA	TO	TO	TOP OF
GC	TYP	TYP	TYPICAL
GL	UO	UO	UNDERSIDE OF
GWB	UON	UON	UNLESS OTHERWISE NOTED
H	VIF	VIF	VERIFY IN FIELD
HK	W/	W/	WITH
	WD	WD	WOOD
	WIC	WIC	WALK-IN CLOSET

11-SHEET INDEX

ARCHITECTURAL SHEET NUMBER	SHEET NAME
T000	COVER SHEET
T010	SURVEY (FOR REFERENCE ONLY)
T030	FLOOR PLAN & BUILDING SITE DIAGRAMS
T031	ZONING CODE AREA DIAGRAMS (FAR)
T032	OPEN SPACE DIAGRAMS
T041	BUILDING AREA ANALYSIS
T063	PLANNING REPORTS
A000	SITE PLAN
A110	P1 LEVEL PLAN
A111	1ST FLOOR PLAN
A112	2ND FLOOR PLAN
A113	3RD FLOOR PLAN
A114	4TH FLOOR PLAN
A115	5TH FLOOR PLAN
A116	ROOF PLAN
A200	EXTERIOR ELEVATIONS - EAST, WEST
A201	EXTERIOR ELEVATIONS - NORTH
A202	EXTERIOR ELEVATIONS - SOUTH
A301	BUILDING SECTIONS
A302	BUILDING SECTIONS
R100	VISUALIZATION
R101	VISUALIZATION
LANDSCAPE	
CS-0	COVER SHEET
LC-1	CONSTRUCTION LAYOUT PLAN
LC-2	CONSTRUCTION DETAILS
LI-1	IRRIGATION NOTES AND CALCULATIONS
LI-2	IRRIGATION HYDROZONES
LI-3	IRRIGATION LAYOUT PLAN
LI-4	IRRIGATION DETAILS
LI-5	IRRIGATION DETAILS
LP-1	PLANTING LAYOUT PLAN
LP-2	PLANTING DETAILS

LADBS STAMP

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 302
North Hollywood, CA 91602
(310) 422-9234

STRUCTURAL:

CIVIL:

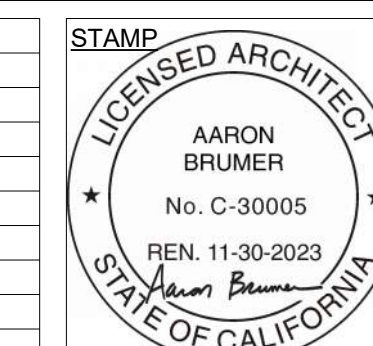
LANDSCAPE:
Savage Land Design
680 Langsdorf Drive, Suite 202B
Fullerton, CA 92831
714-878-0335

OWNER:

PROJECT:
14 UNIT MULTIFAMILY BUILDING
2512 CENTINELA AVE
LOS ANGELES, CA 90064

ISSUE	DATE	DESCRIPTION
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ISSUE	DATE	DESCRIPTION

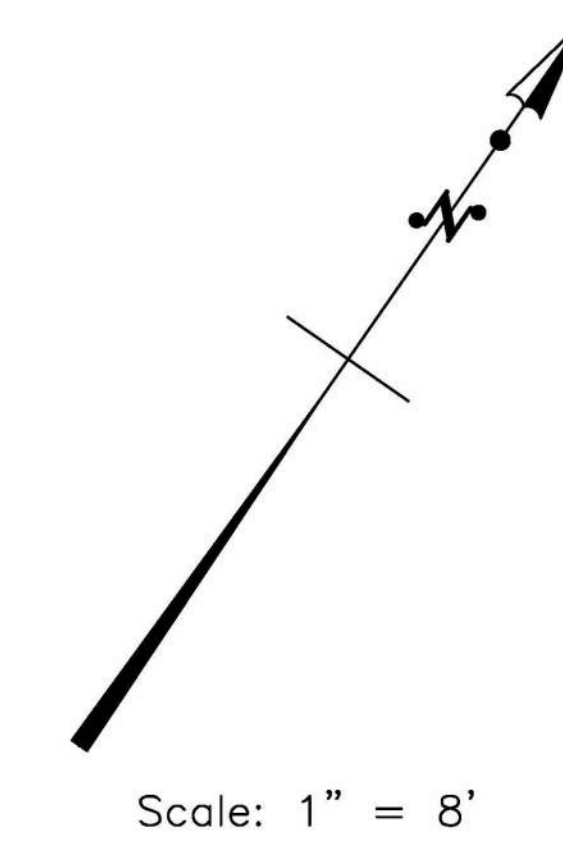


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COVER SHEET

T000

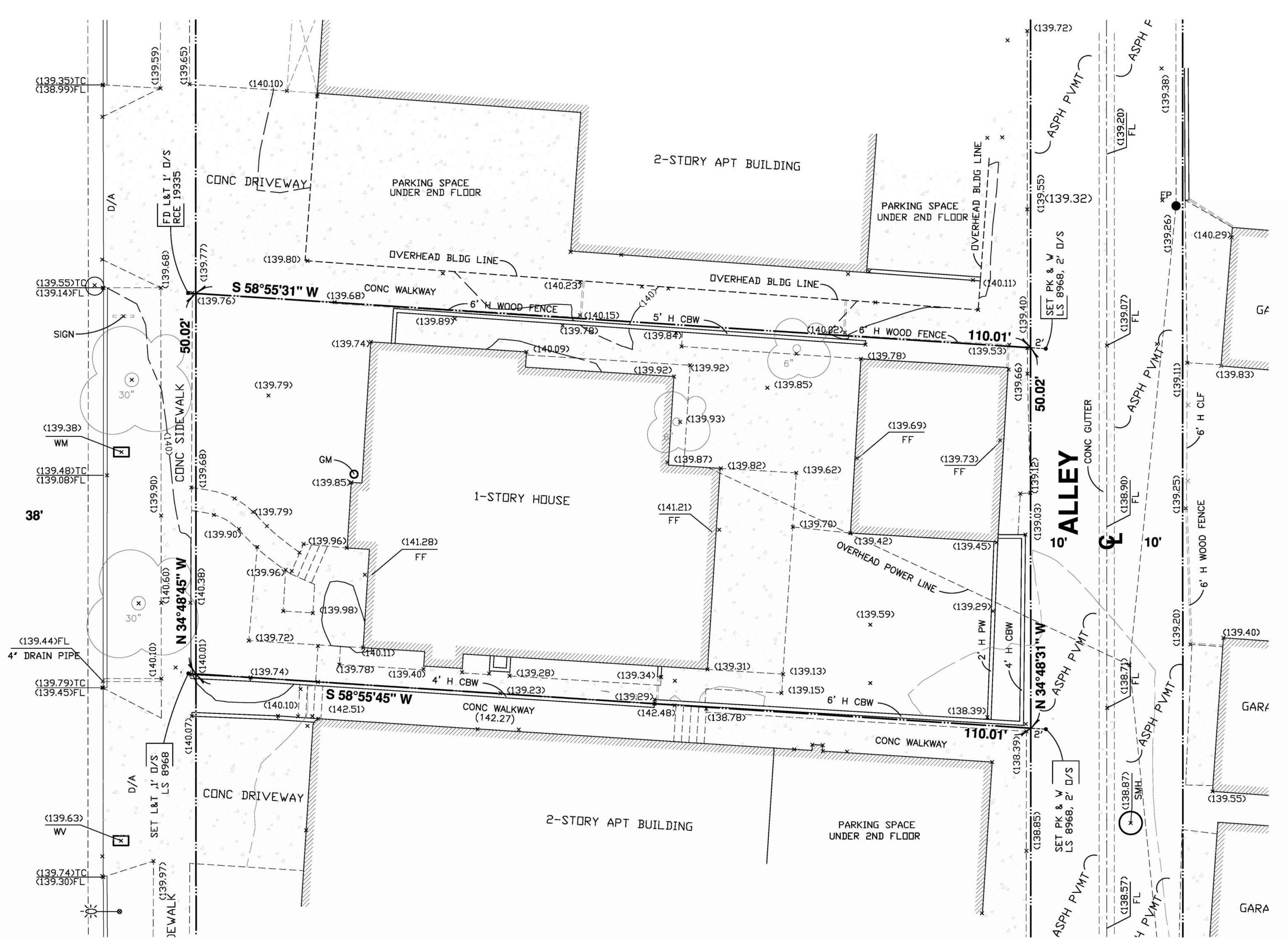
2512 CENTINELA

TOPOGRAPHIC MAP



AVE

CENTINELA



- ABBREVIATIONS:**
- CBW Conc. Block Wall
 - CLF Chain Linked Fence
 - CONC. Concrete
 - D/A Driveway Apron
 - EP Edison Pole
 - EX. Existing
 - FF Finish Floor Elevation
 - FL Flow Line Elevation
 - GM Gas Meter
 - PW Plant Wall
 - SMH Sewer Manhole
 - TC Top of Curb Elevation
 - WM Water Meter
 - WV Water Valve

- LEGEND:**
- (100.10) Existing Elevation
 - Chain Link Fence
 - Ex. Structure
 - Fire Hydrant
 - Street Light
 - Ex. Tree, Diameter

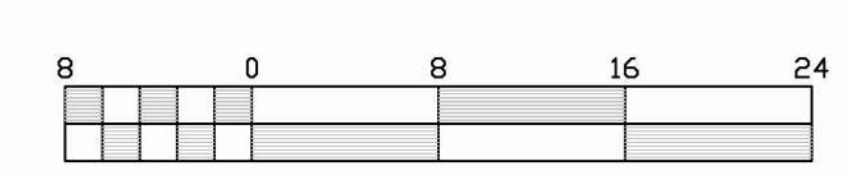
LEGAL DESCRIPTION:
 LOT 19 & 20 OF TRACT NO. 7782, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 85 PAGE 63 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCH MARK:
 CITY OF SANTA MONICA
 FIELD NOTE 457-6
 ELEV. 139.602
 YEAR 1995
 DESCRIPTION: WIRE SPIKE IN SOUTHWEST CURB OF CENTINELA AVENUE 15.3HT, NORTHWEST OF NORTHWEST CURB OF PEARL STREET



PLANS PREPARED BY:
JIM _____ Date _____
Land's End Surveying & Engineering, Inc.
 Subdivision Engineering Design Survey
 9080 Teletar Ave, #303
 El Monte, CA 91731
 Tel: (626) 298-9581
 Email: qiguang1126@yahoo.com

TOPOGRAPHIC MAP
 SCALE: 1"=8' APN: 4257-024-038 DATE: 2-22-2020
2512 S CENTINELA AVE,
LOS ANGELES, CA 90064



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ARCHITECT:
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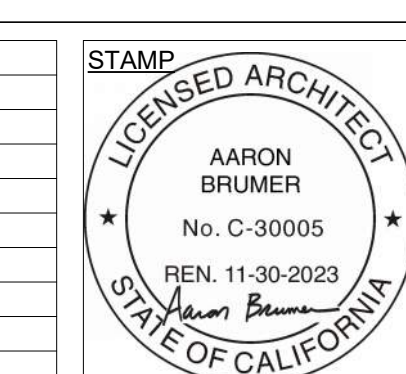
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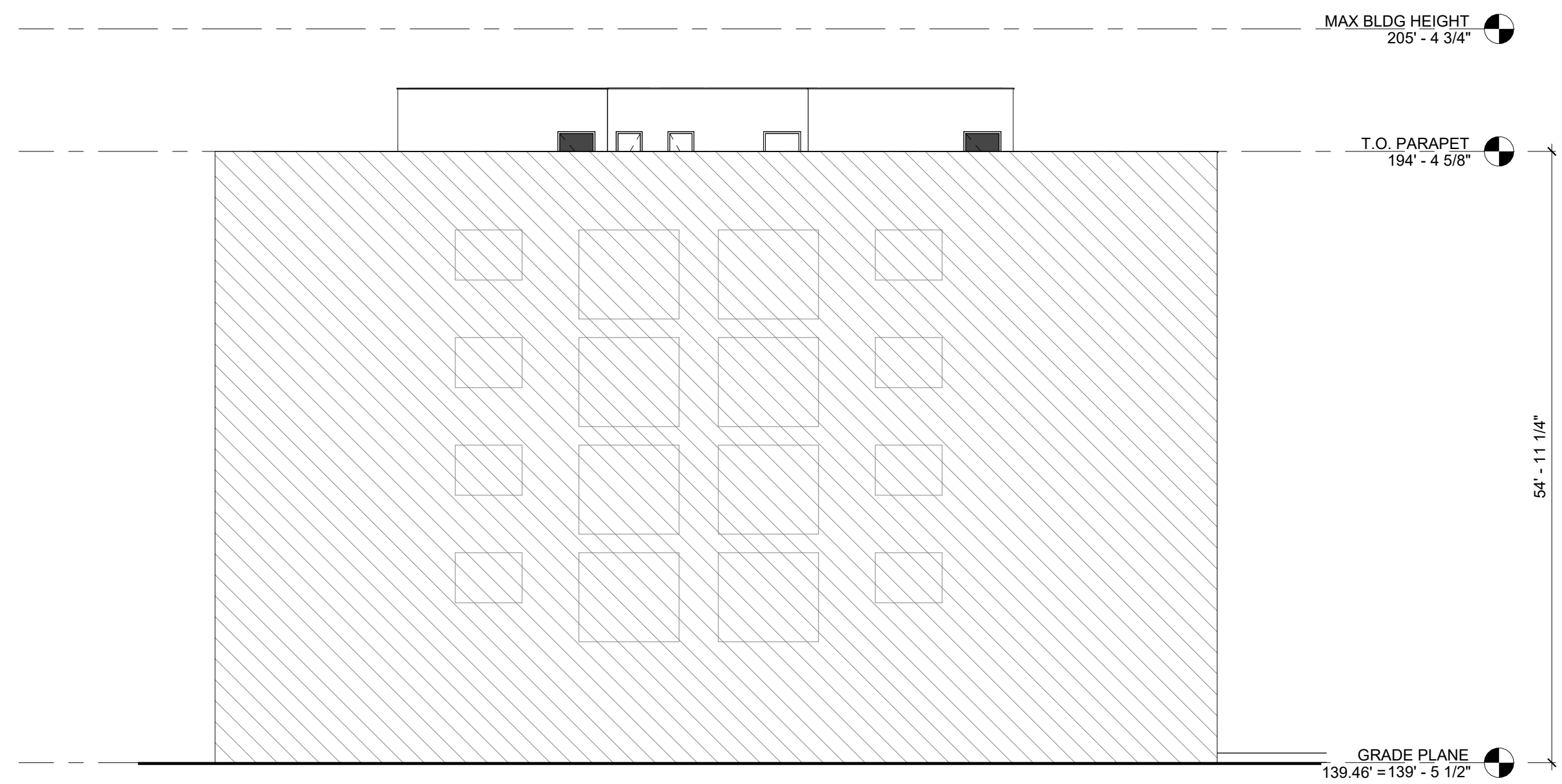
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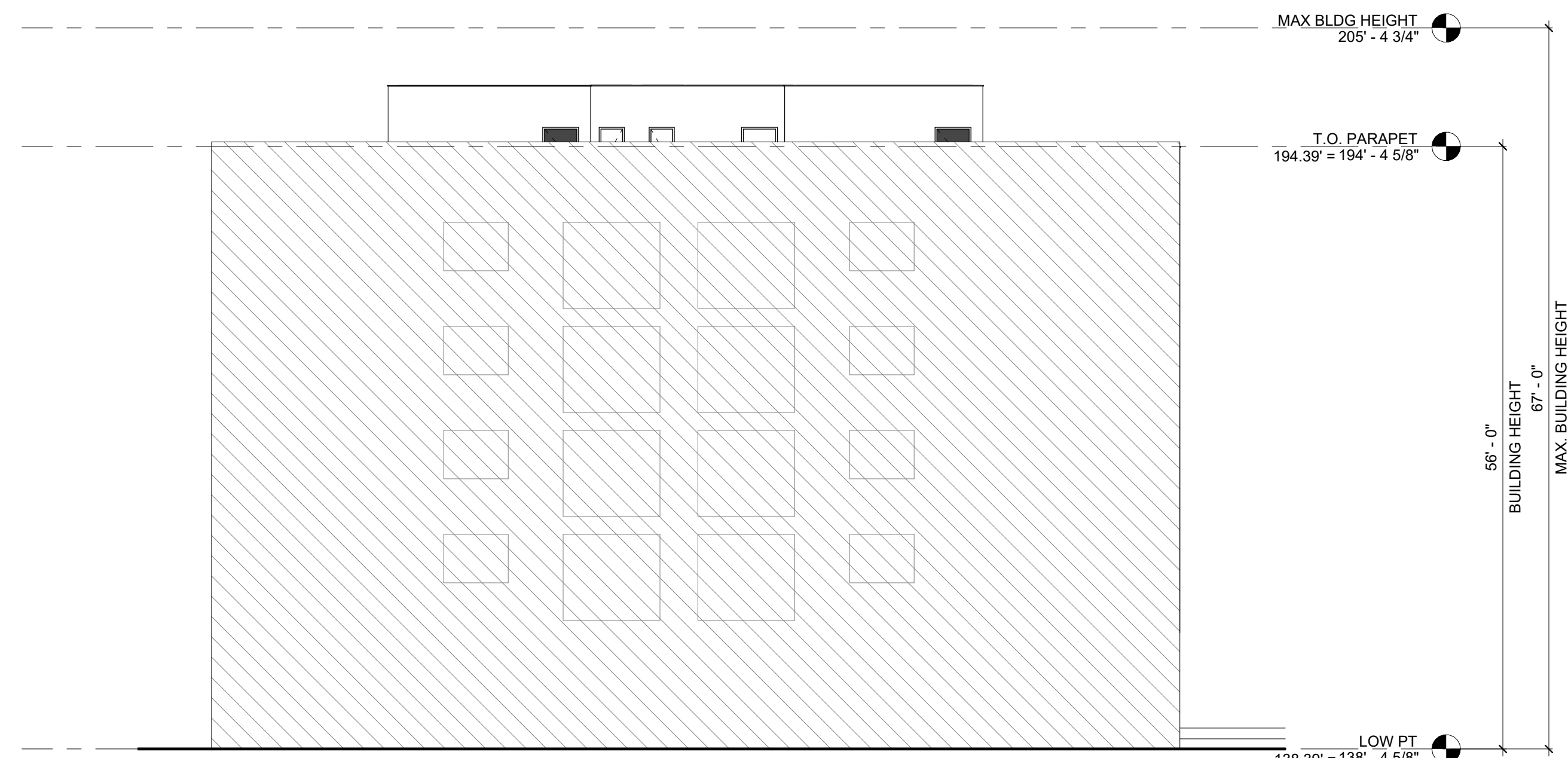
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 SURVEY (FOR REFERENCE ONLY)

T010

2512 CENTINELA



6 BUILDING PLANE DIAGRAM - SOUTH ELEVATION
3/32" = 1'-0"

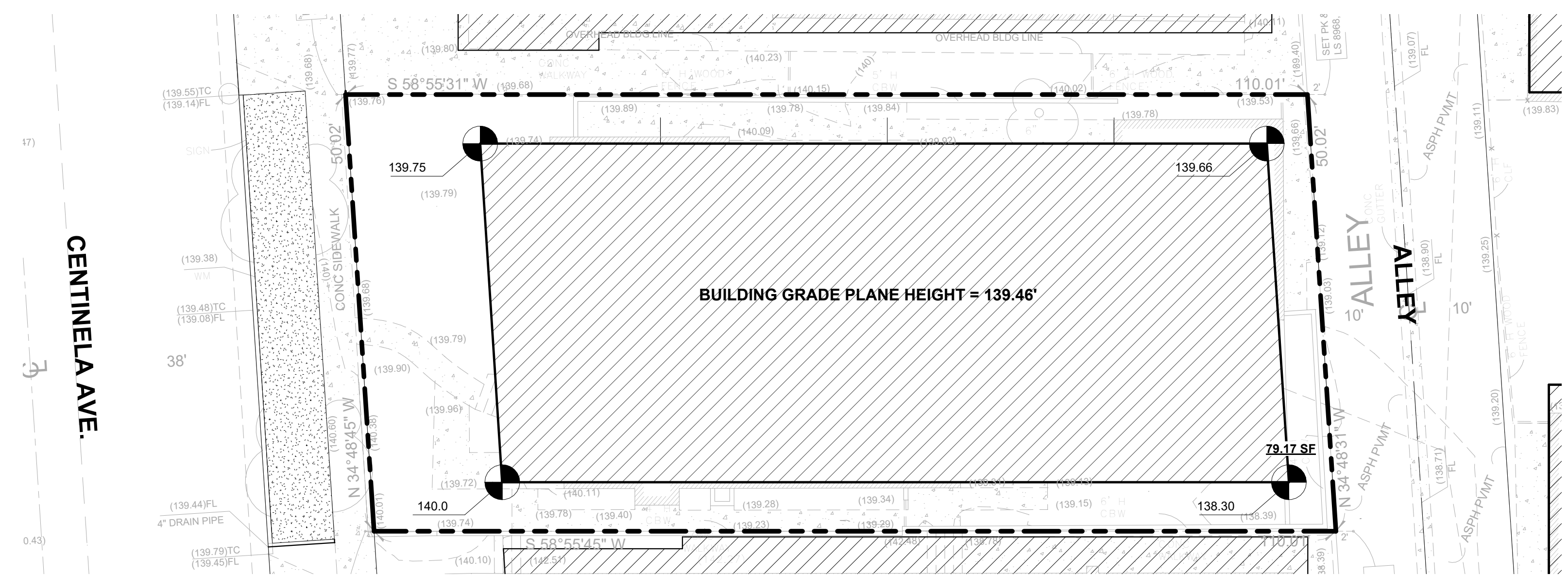


5 LOW POINT OF GRADE - SOUTH ELEVATION
3/32" = 1'-0"

LADBS STAMP

GRADE PLANE CALCULATIONS

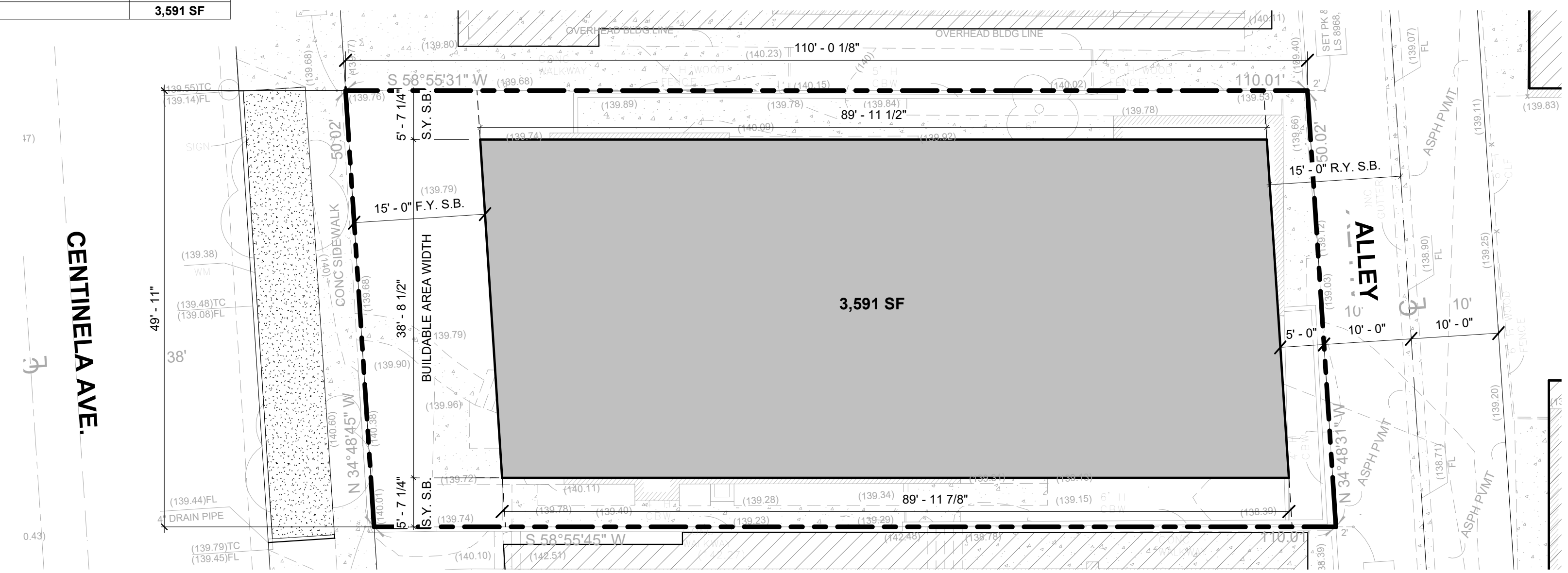
140.11' + 139.75' + 139.66' + 138.30'	557.82'
GRADE PLANE HEIGHT: 557.82' / 4	139.46'



4 PLOT PLAN
3/32" = 1'-0"

BUILDABLE AREA CALCULATIONS

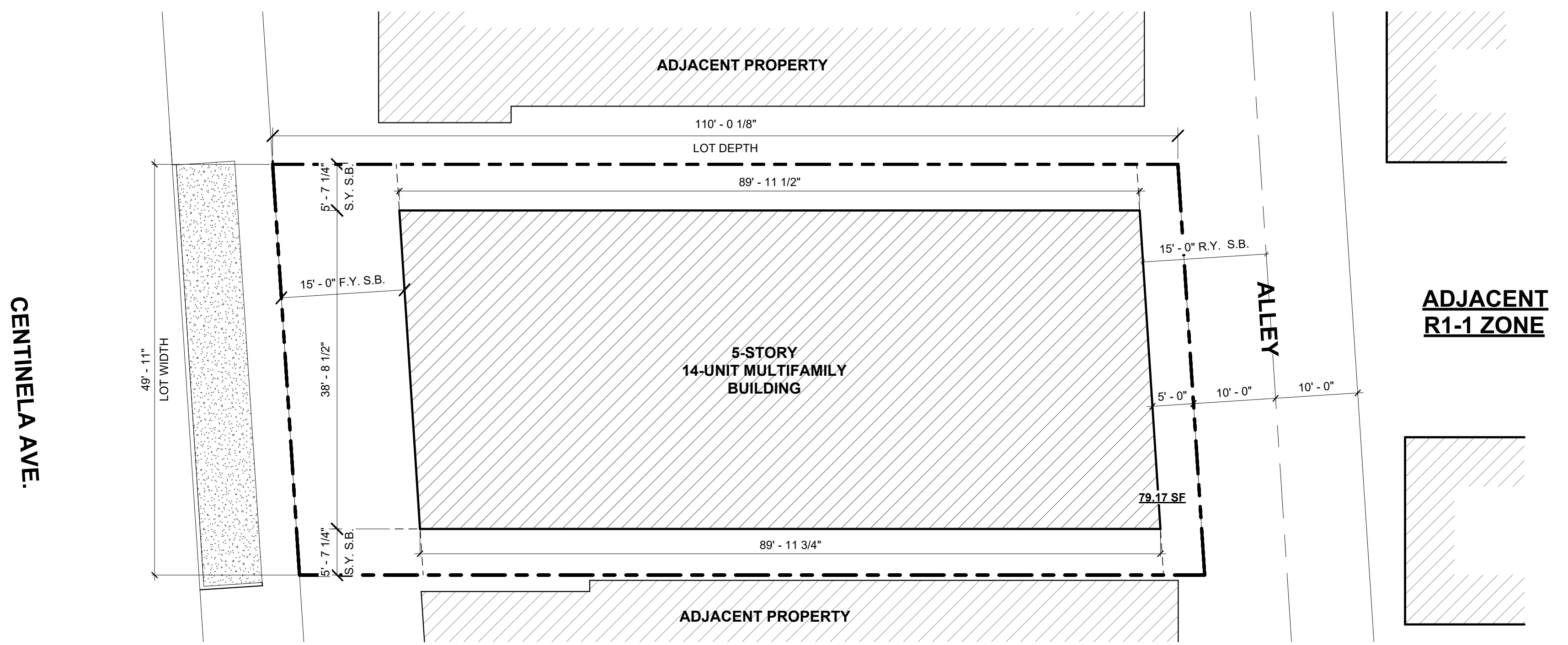
110' - 15' F.Y. - 5' R.Y.	90'
49' - 5' S.Y. - 5' S.Y.	39.9'
90' X 39.9'	3,591 SF
BUILDABLE AREA:	3,591 SF



2 BUILDABLE AREA DIAGRAM
3/32" = 1'-0"



3 LOW POINT OF GRADE
3/32" = 1'-0"



1 PLOT PLAN
3/32" = 1'-0"

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STRUCTURAL:

CIVIL:

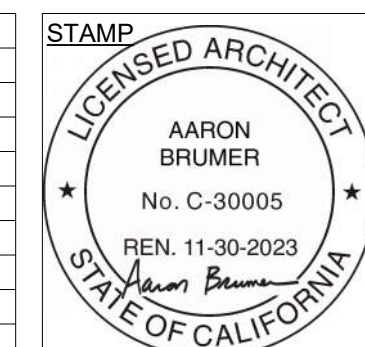
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5	09/21/2023	CITY PLANNING SUBMITTAL #1

ISSUE	DATE	DESCRIPTION

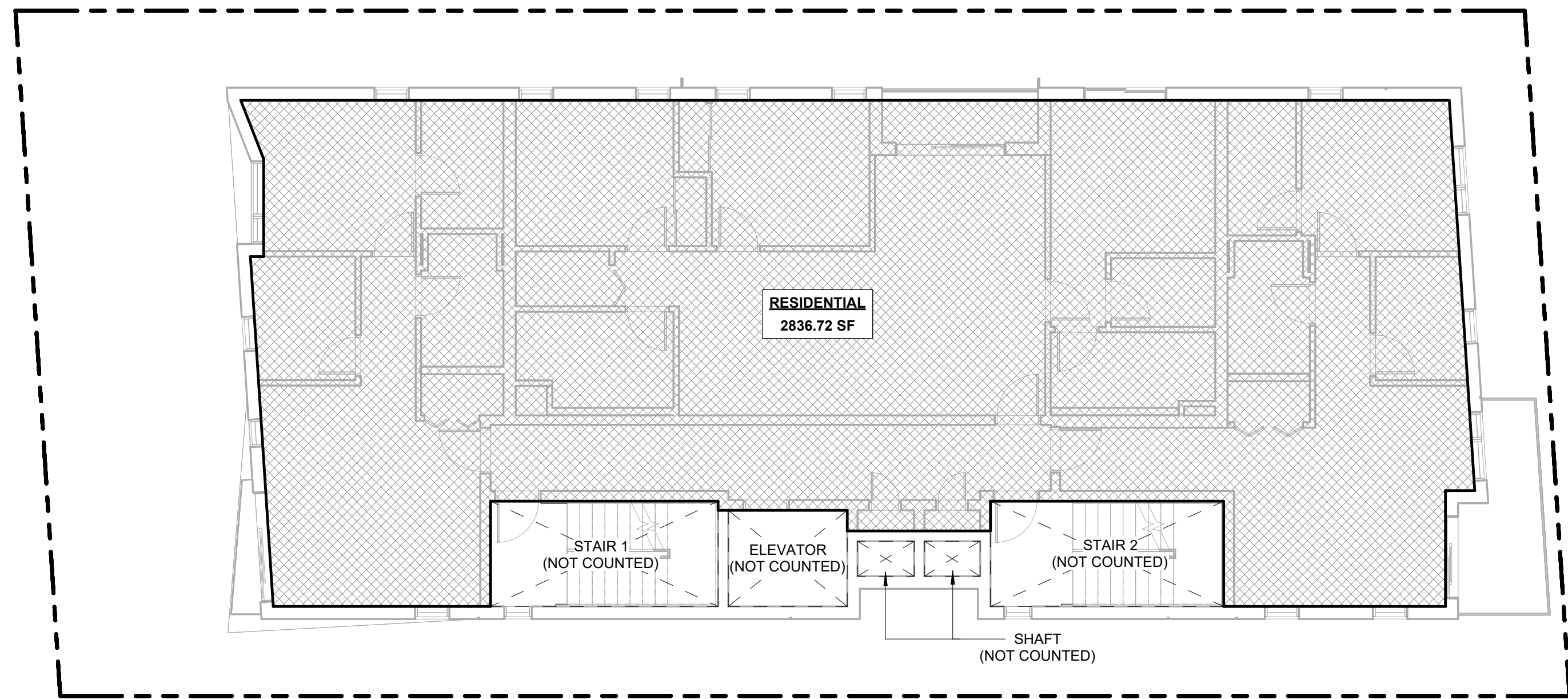


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PLOT PLAN & BUILDING SITE DIAGRAMS

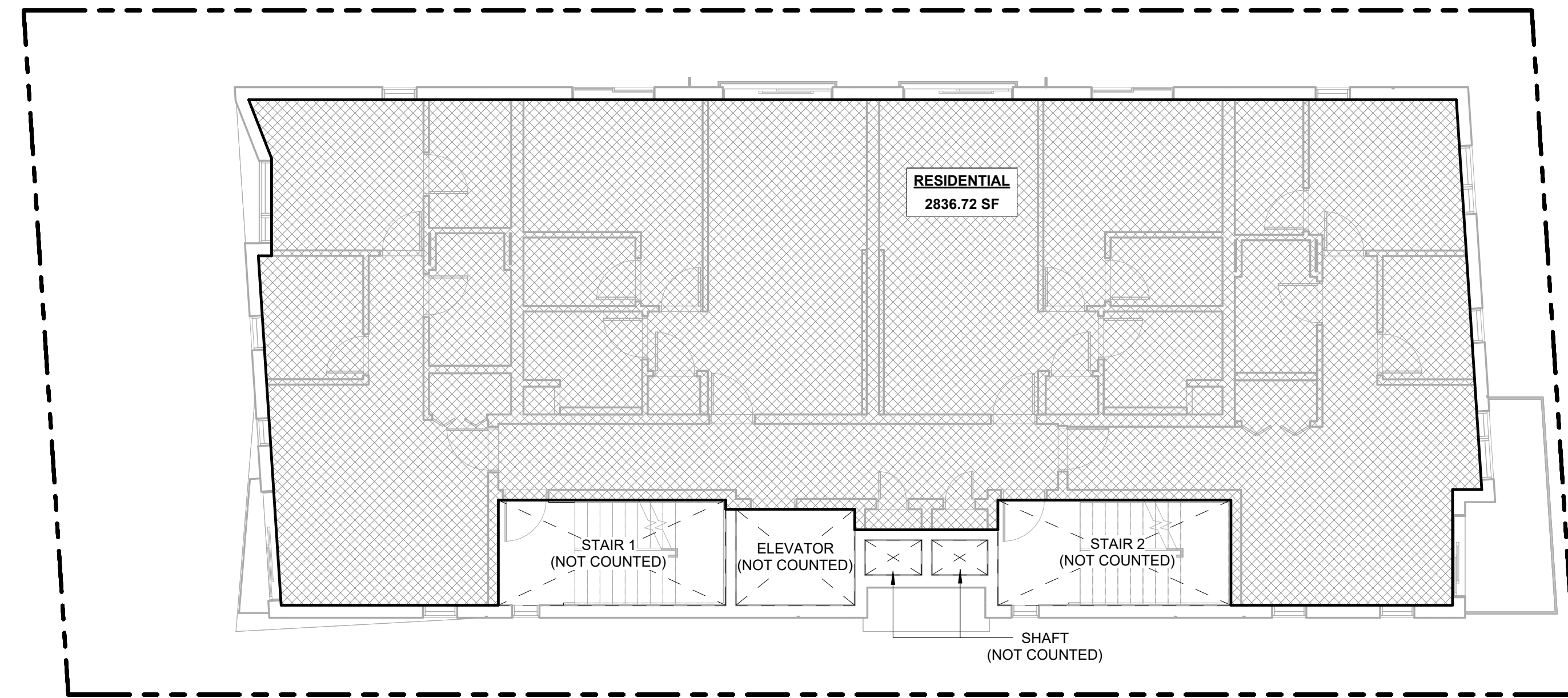
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2512 CENTINELA

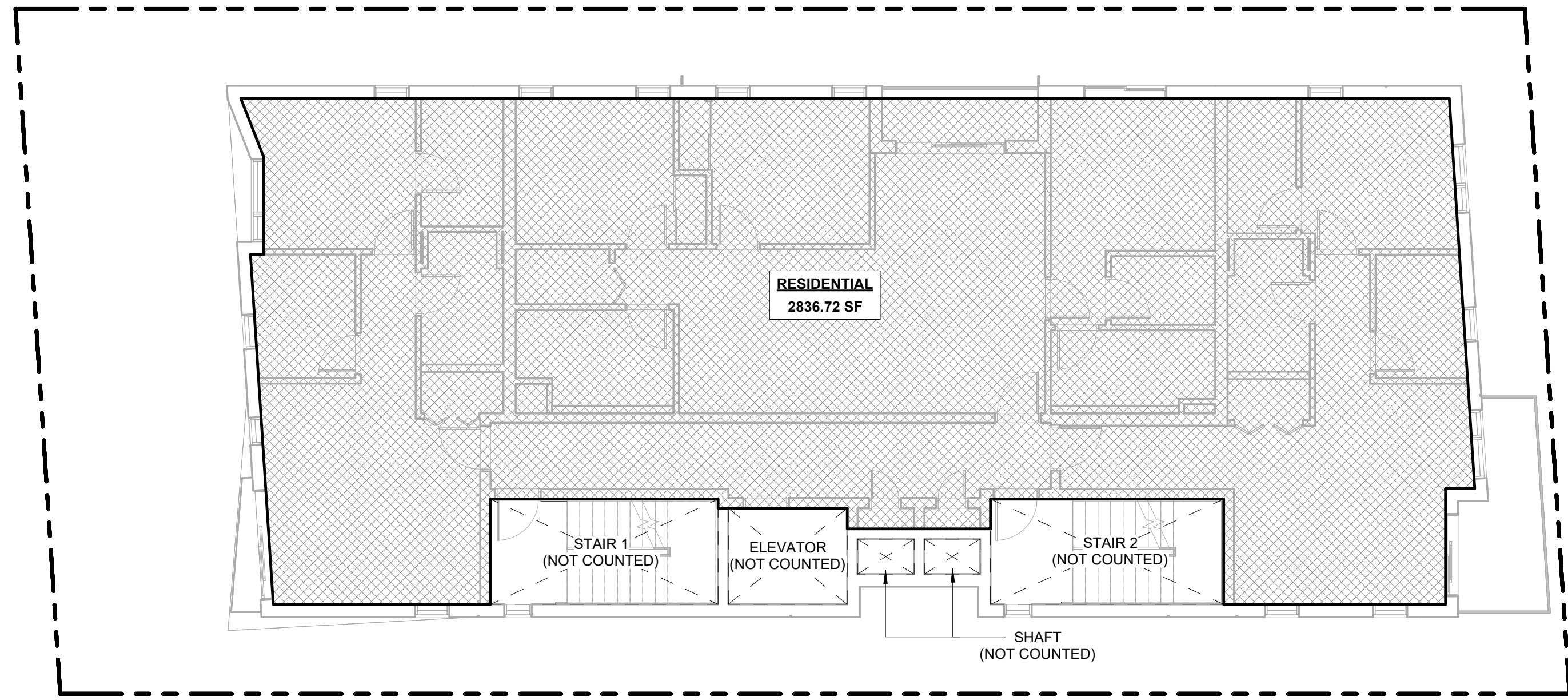
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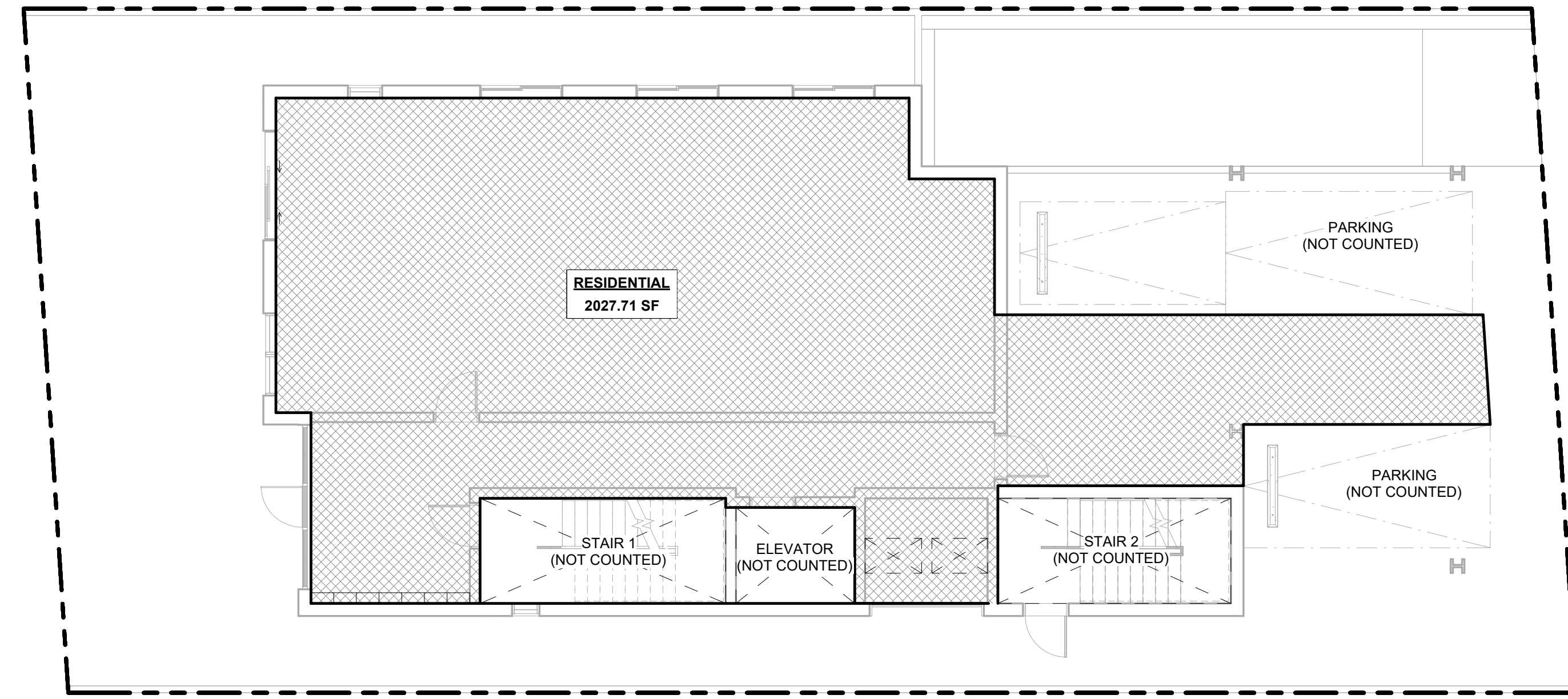
6 5TH FLOOR
1/8" = 1'-0"



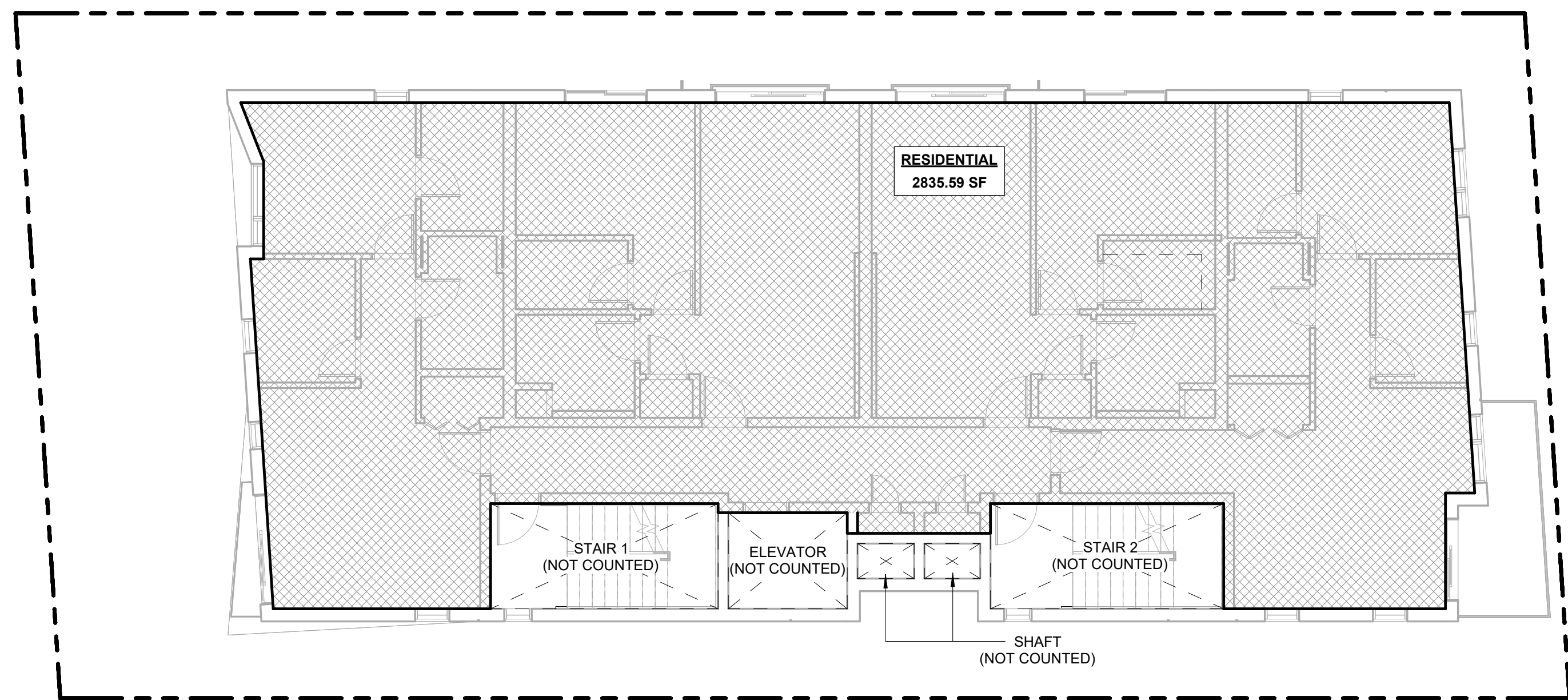
3 2ND FLOOR
1/8" = 1'-0"



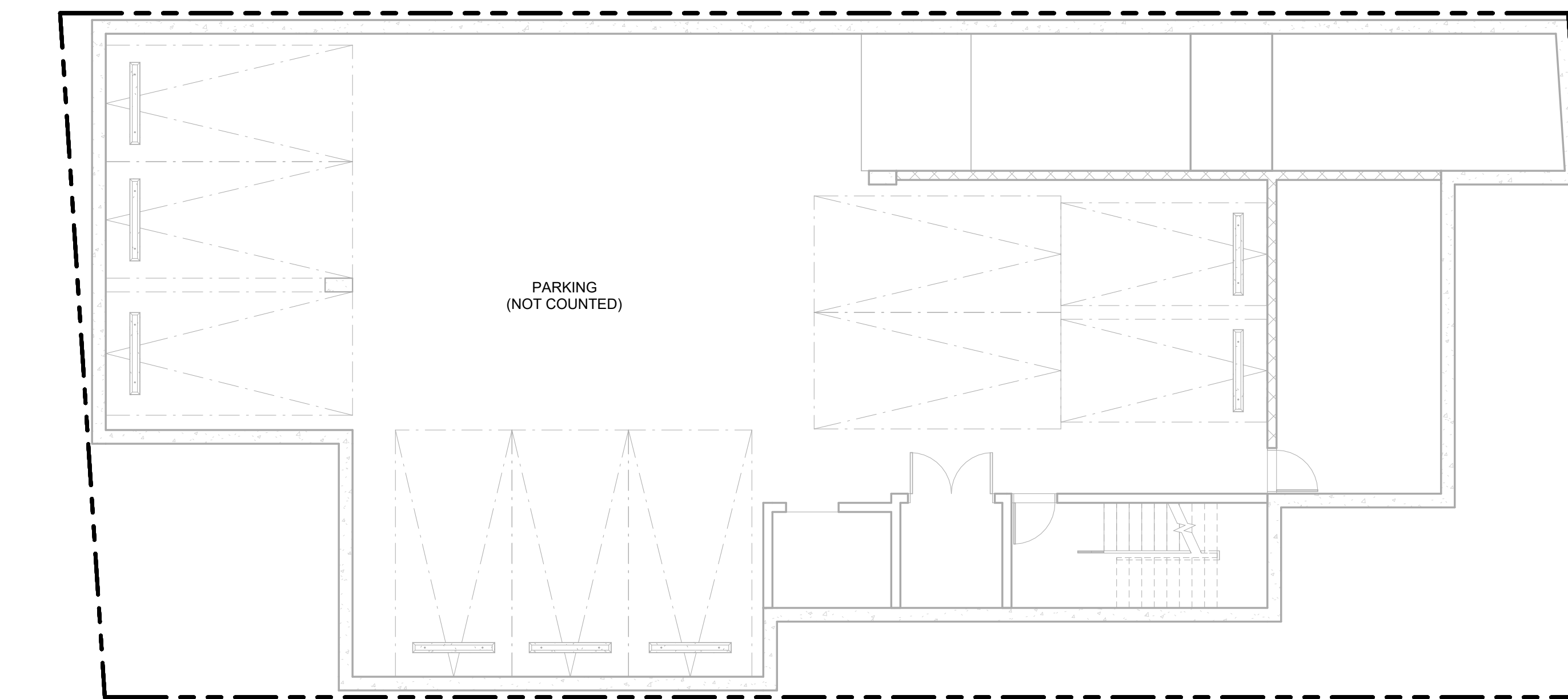
5 4TH FLOOR
1/8" = 1'-0"



2 1ST FLOOR
1/8" = 1'-0"



4 3RD FLOOR
1/8" = 1'-0"



1 P1 LEVEL
1/8" = 1'-0"

ZONING SF SUMMARY		
LEVEL	USE	AREA (SF)
1ST FLOOR	RESIDENTIAL	2027.70 SF
2ND FLOOR	RESIDENTIAL	2836.70 SF
3RD FLOOR	RESIDENTIAL	2835.60 SF
4TH FLOOR	RESIDENTIAL	2836.70 SF
5TH FLOOR	RESIDENTIAL	2836.70 SF
TOTAL	RESIDENTIAL	13373.40 SF

ZONING DIAGRAM HATCH

RESIDENTIAL

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ARCHITECT:
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(310) 422-9234

STRUCTURAL:

CIVIL:

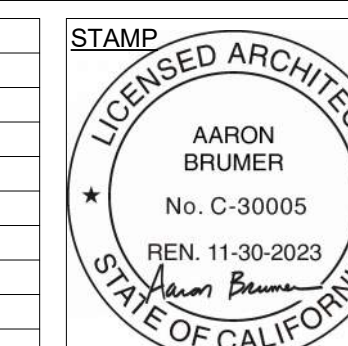
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5	09/21/2023	CITY PLANNING SUBMITTAL #1

ISSUE	DATE	DESCRIPTION



DRAWING TITLE
ZONING CODE AREA
DIAGRAMS (FAR)

T031

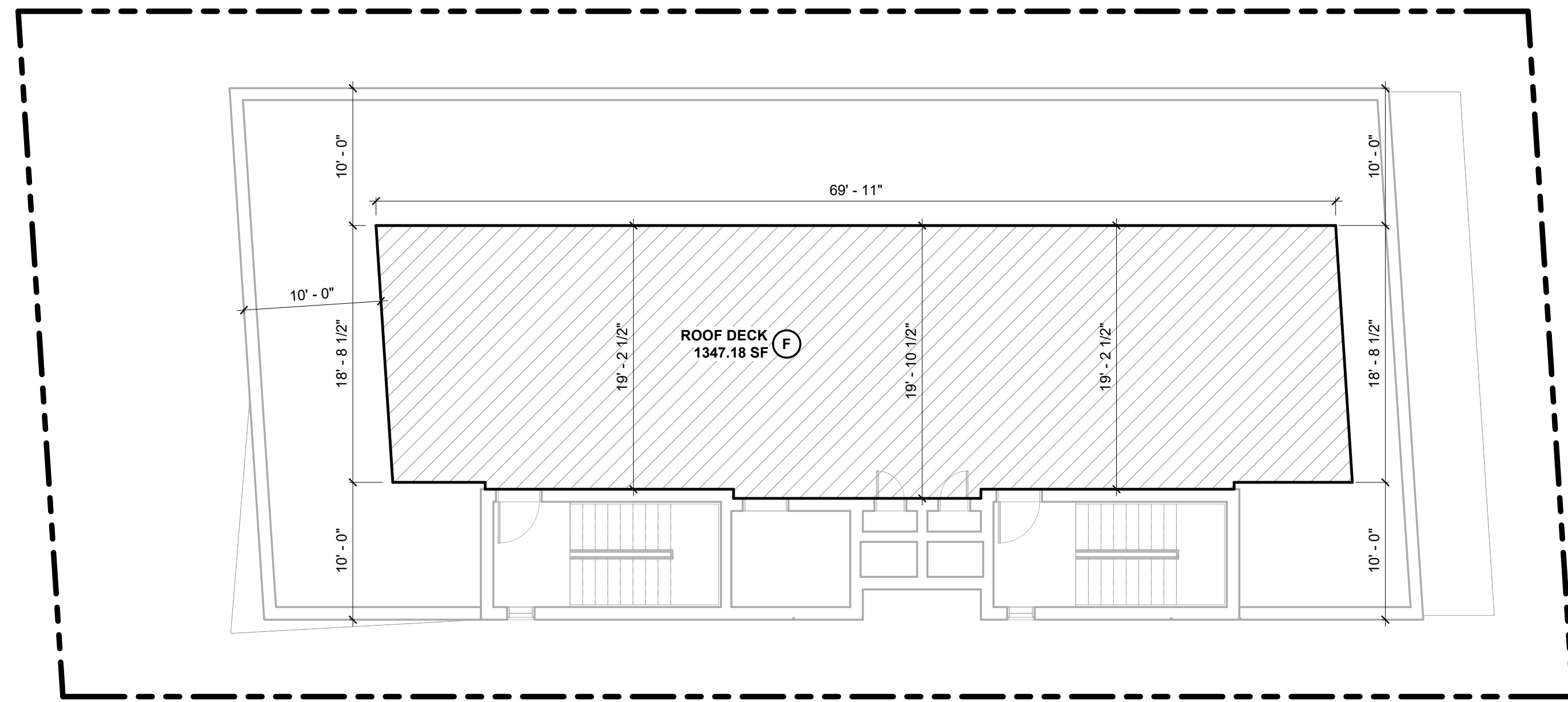
2512 CENTINELA

OPEN SPACE CALCULATIONS

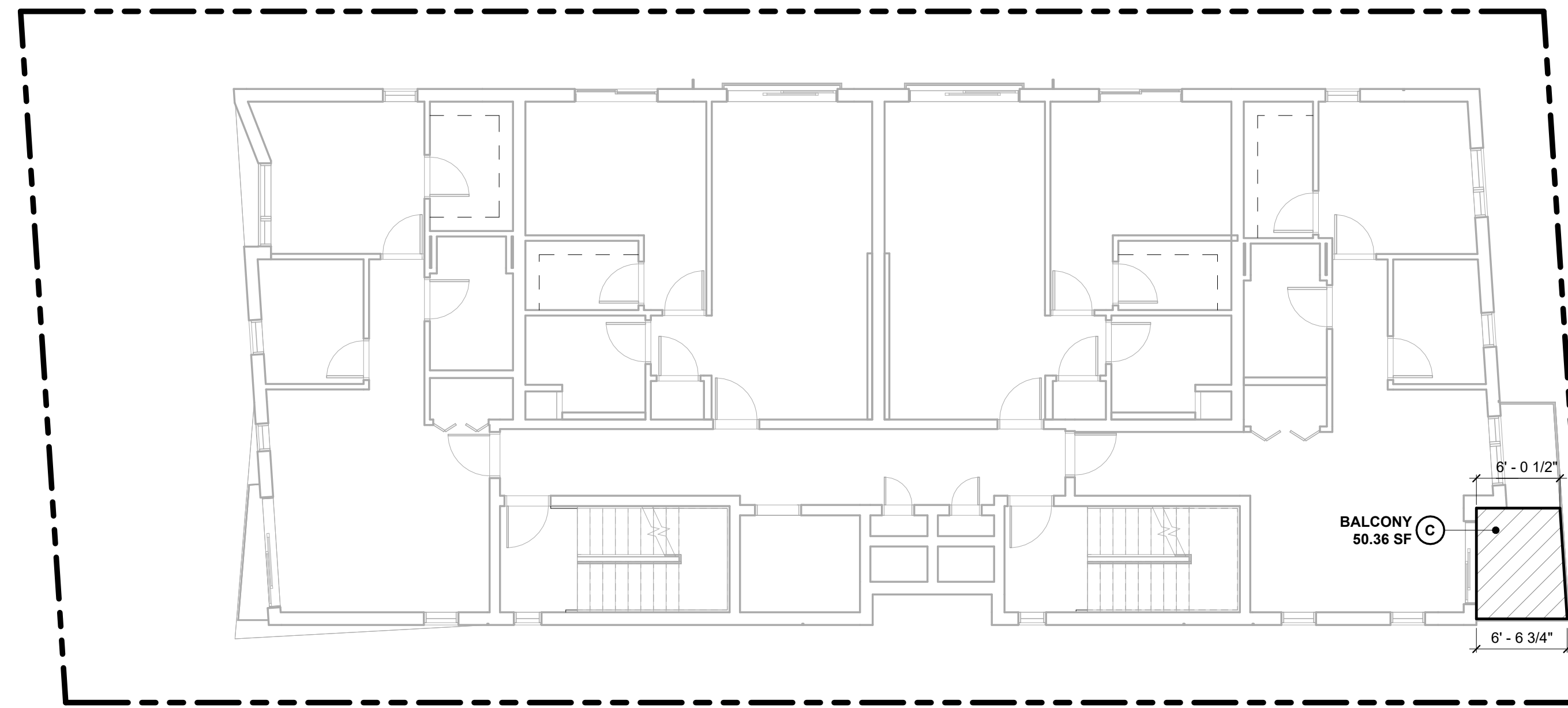
KEY TAG	BUILDING AREA NAME	ACTUAL AREA	ADJUSTED AREA
A	REC ROOM	1,166.5 SF	291.6 SF
1ST FLOOR		1,166.5 SF	291.6 SF

OPEN SPACE SUMMARY

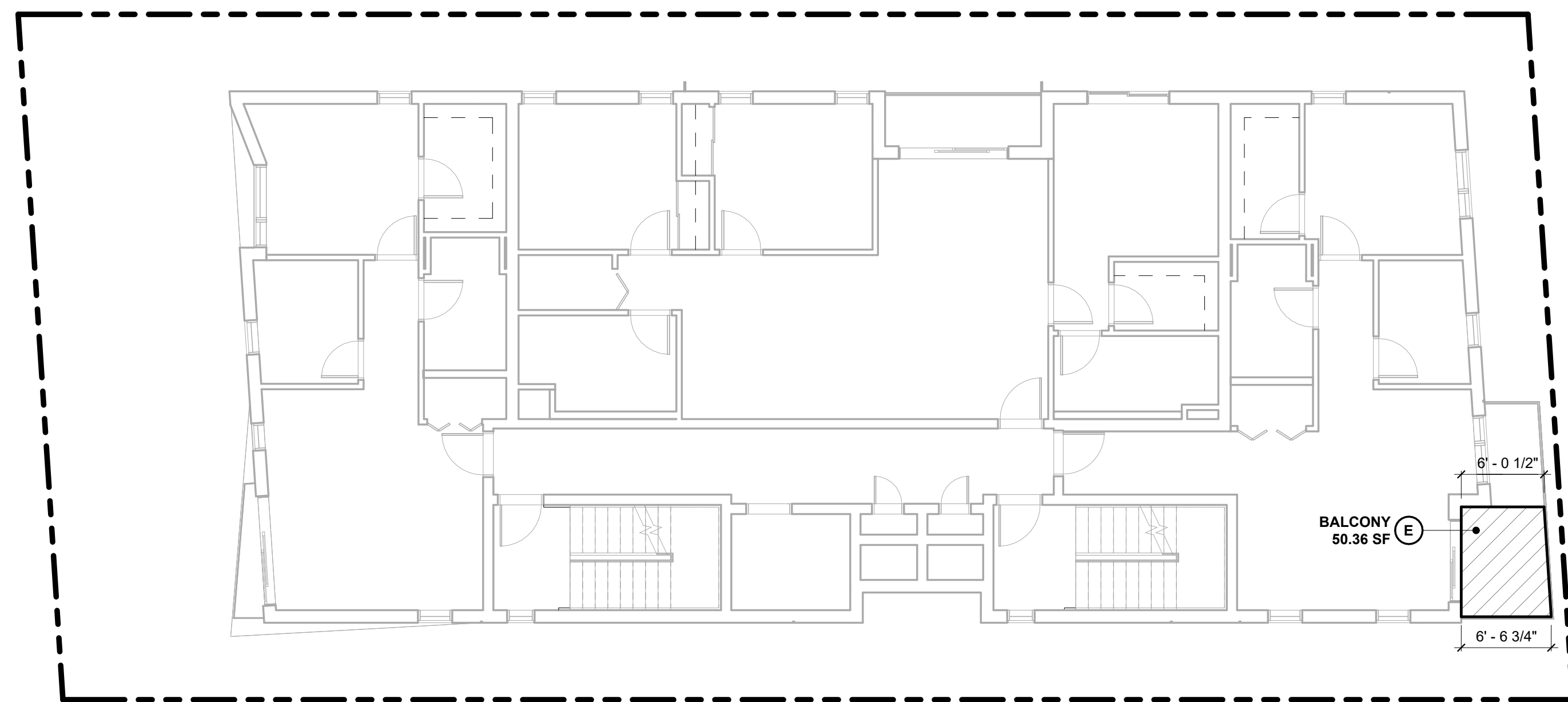
FLOOR	BLDG AREA TYPE	ACTUAL AREA	ADJUSTED AREA
1ST FLOOR	RECROOM	1,166.5 SF	291.6 SF
2ND FLOOR	PRIVATE BALCONY	50.4 SF	50.0 SF
3RD FLOOR	PRIVATE BALCONY	50.4 SF	50.0 SF
4TH FLOOR	PRIVATE BALCONY	50.4 SF	50.0 SF
5TH FLOOR	PRIVATE BALCONY	50.4 SF	50.0 SF
ROOF	OPEN ROOFDECK	1,347.2 SF	1,347.2 SF
TOTAL		2,715.3 SF	1,838.8 SF



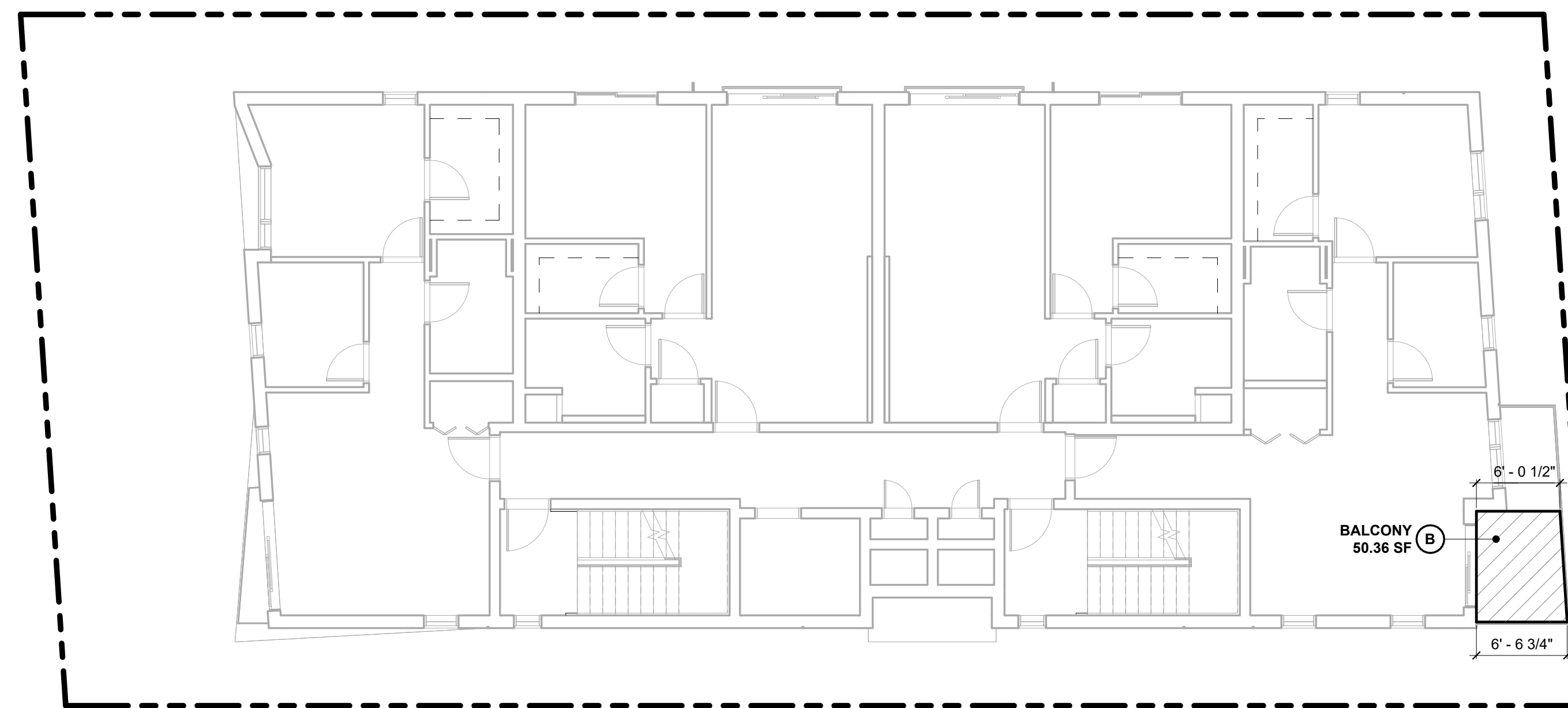
6 ROOF PLAN
1/8" = 1'-0"



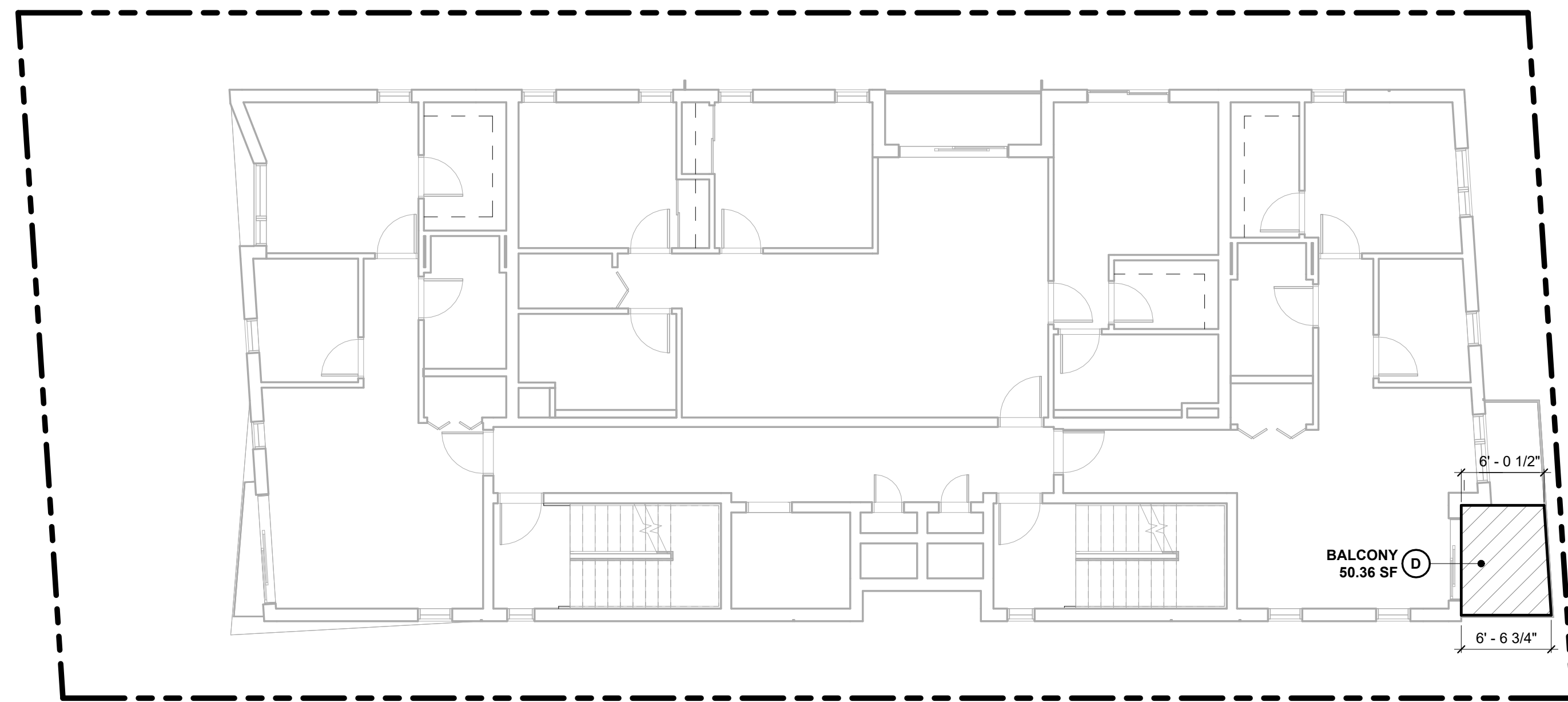
3 3RD FLOOR
1/8" = 1'-0"



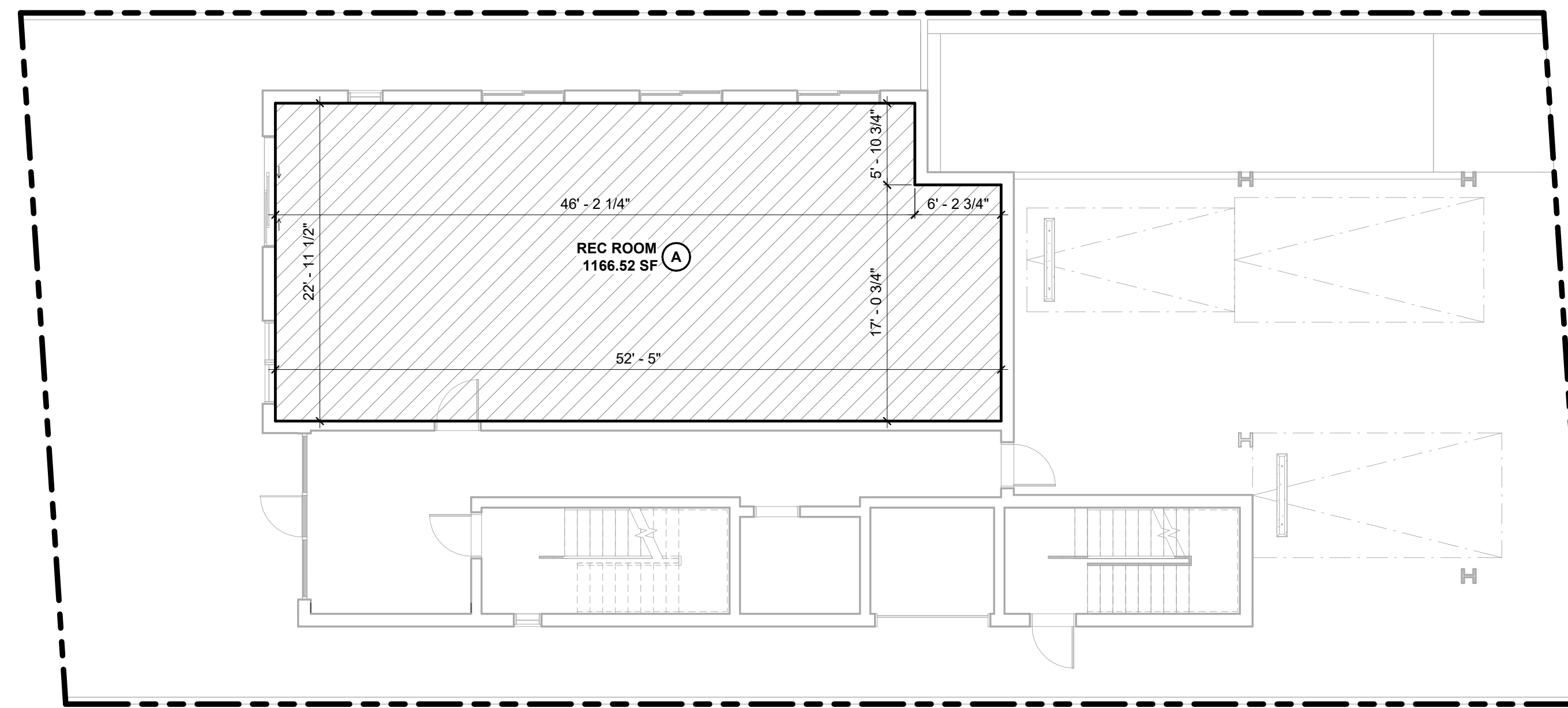
5 5TH FLOOR
1/8" = 1'-0"



2 2ND FLOOR
1/8" = 1'-0"



4 4TH FLOOR
1/8" = 1'-0"



1 FIRST FLOOR PLAN
1/8" = 1'-0"

LADBS STAMP

ARCHITECT:
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North Hollywood, CA 91602
(310) 422-9234

STRUCTURAL:

CIVIL:

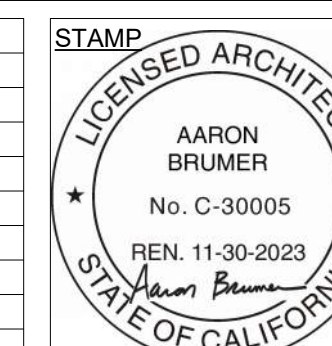
LANDSCAPE:
Savage Land Design
680 Langsdorf Drive, Suite 202B
Fullerton, CA 92831
714-878-0335

OWNER:

PROJECT:
14 UNIT MULTIFAMILY
BUILDING
2512 CENTINELA AVE
LOS ANGELES, CA 90064

ISSUE	DATE	DESCRIPTION
1	05/26/2023	PZA SUBMITTAL #1
2	08/11/2023	PZA SUBMITTAL #2
3	08/22/2023	PZA SUBMITTAL #3
4	08/30/2023	PZA SUBMITTAL #4
5	09/21/2023	CITY PLANNING SUBMITTAL #1

ISSUE	DATE	DESCRIPTION



DRAWING TITLE
OPEN SPACE DIAGRAMS

T032

2512 CENTINELA

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BUILDING AREA ANALYSIS SUMMARY

LEVEL NAME	BLDG AREA TYPE	AREA
P1 SUBTERANEAN		3978.59 SF
1ST FLOOR		1992.61 SF
2ND FLOOR		987.18 SF
3RD FLOOR		3160.55 SF
4TH FLOOR		3160.10 SF
5TH FLOOR		3160.10 SF
TOTAL		19599.22 SF

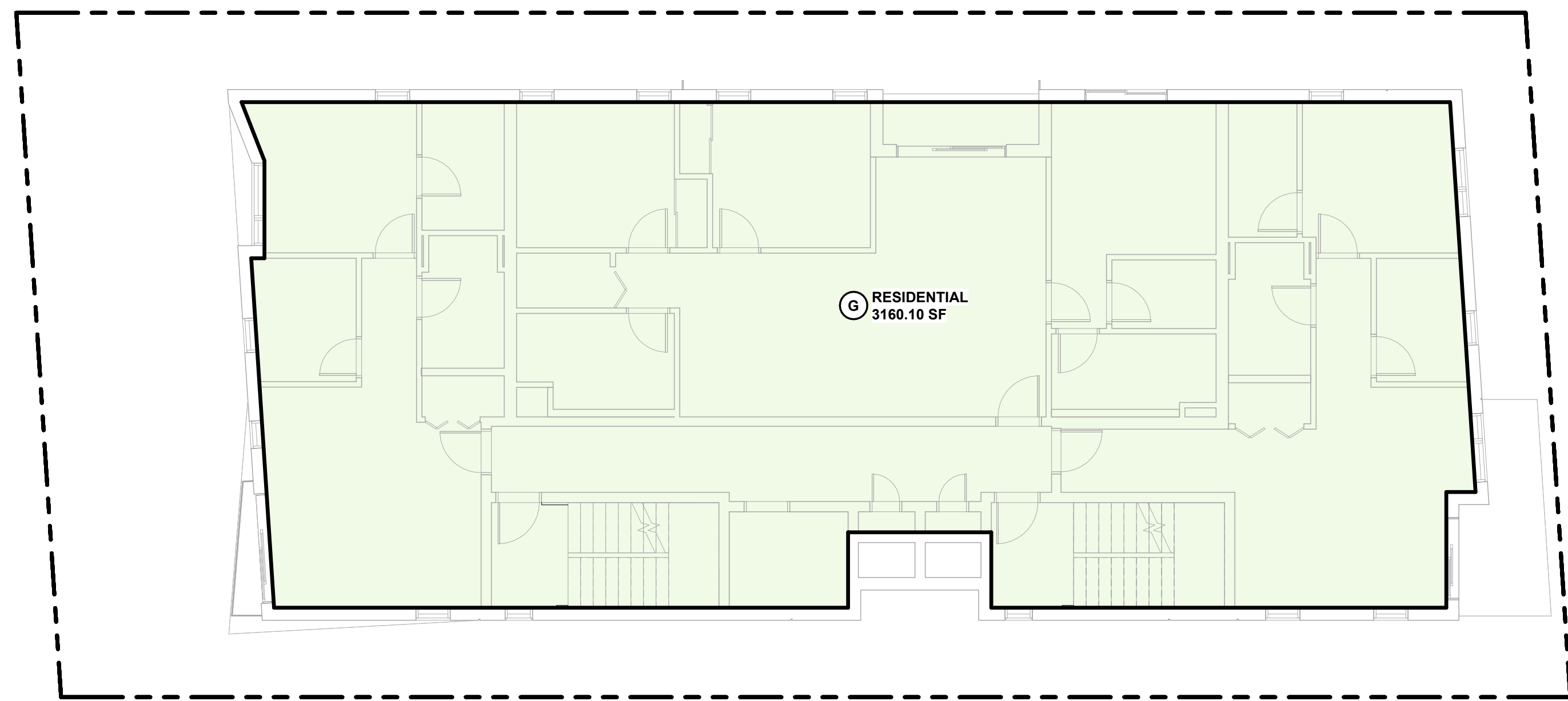
BUILDING AREA ANALYSIS

KEY TAG	BUILDING AREA NAME	AREA
A	PARKING	3978.59 SF
P1 SUBTERANEAN	RESIDENTIAL	1992.61 SF
B	PARKING	987.18 SF
C	RESIDENTIAL	3160.55 SF
D	RESIDENTIAL	3160.10 SF
E	RESIDENTIAL	3160.10 SF
F	RESIDENTIAL	3160.10 SF
G	RESIDENTIAL	3160.10 SF

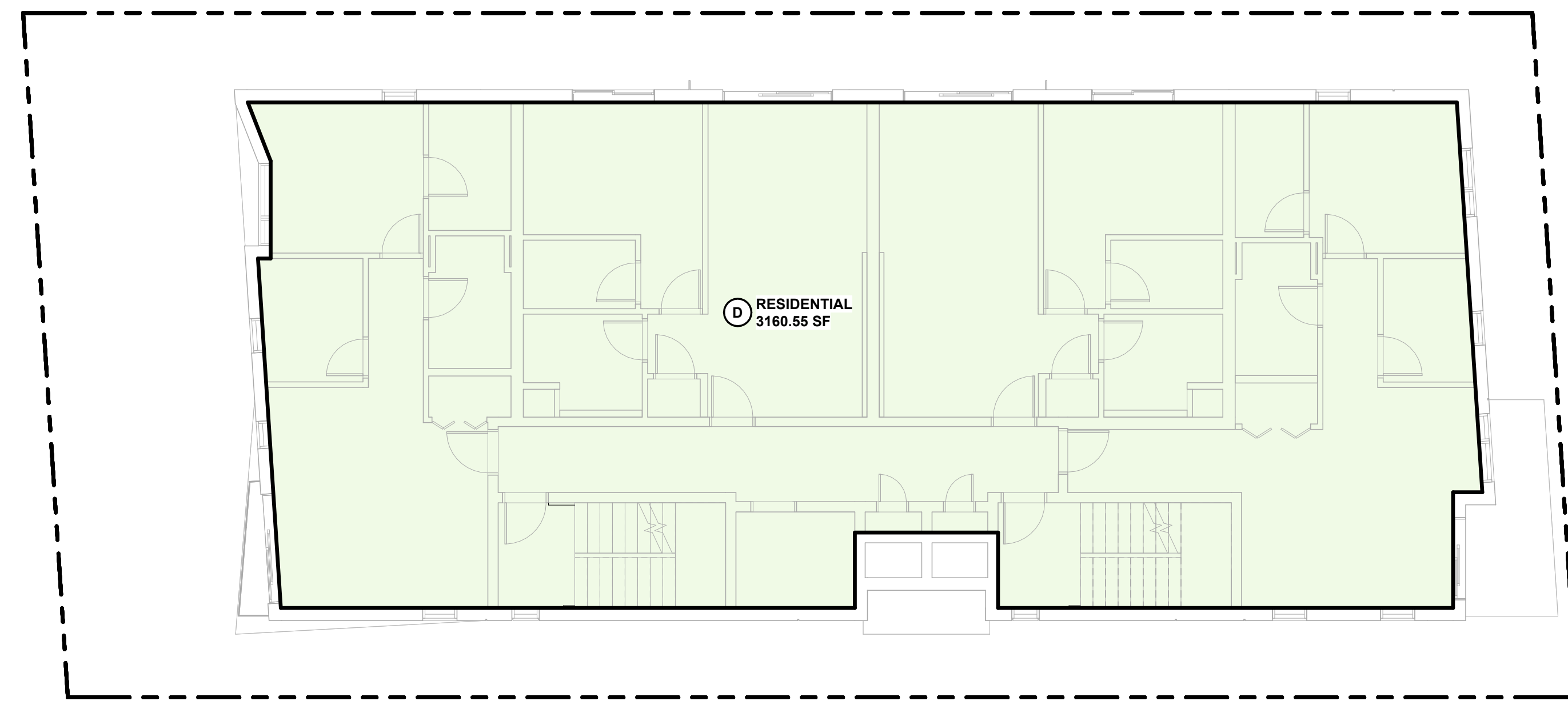
BUILDING AREA ANALYSIS

- PARKING
- RESIDENTIAL

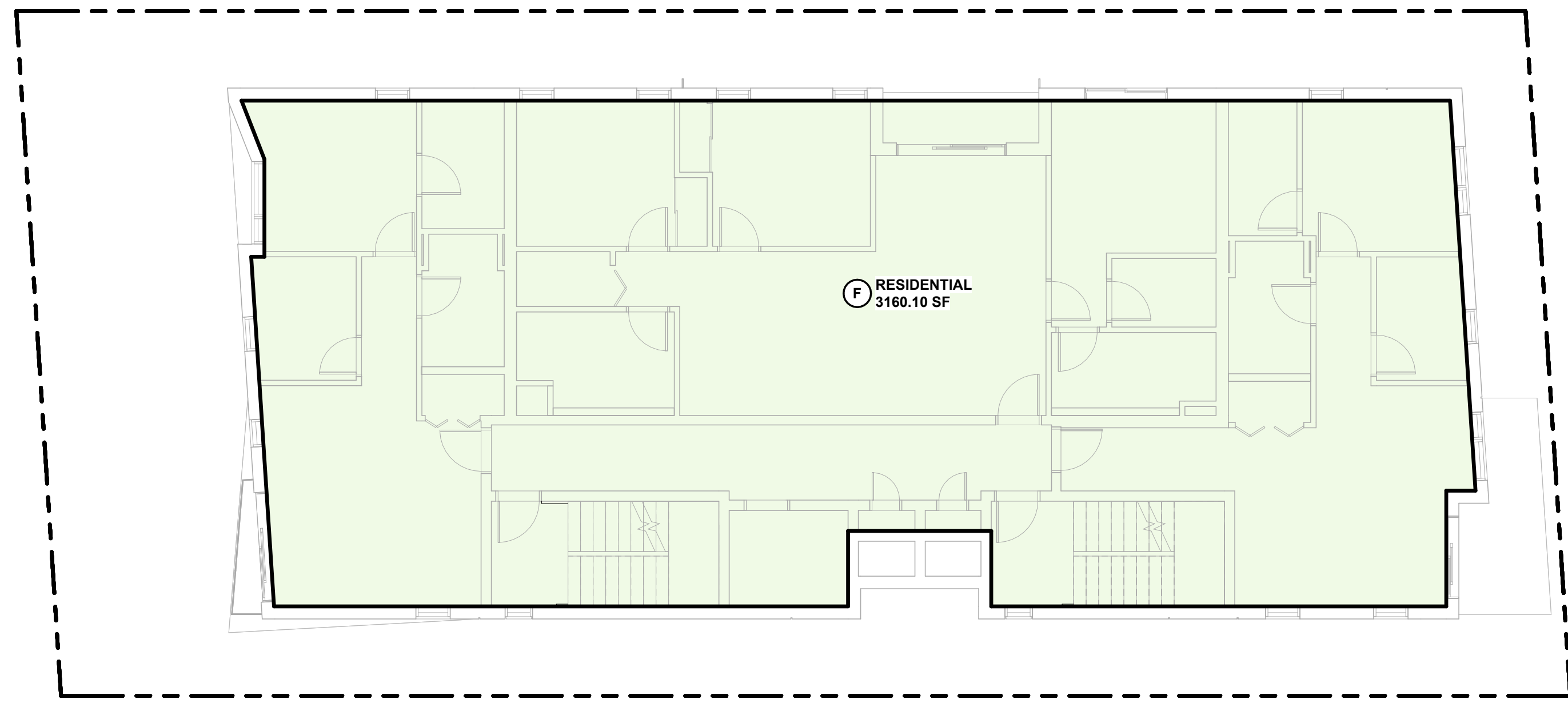
LADBS STAMP



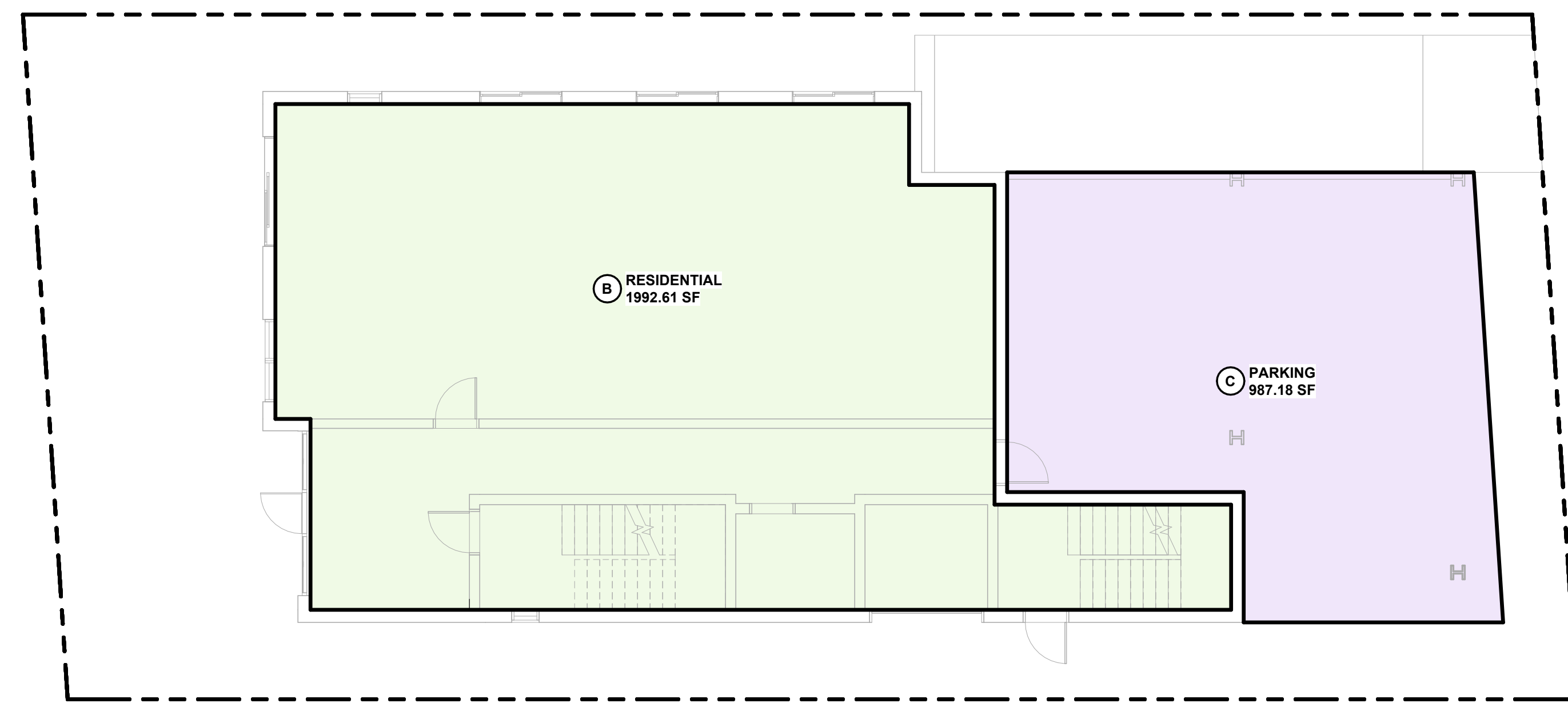
6 5TH FLOOR
1/8" = 1'-0"



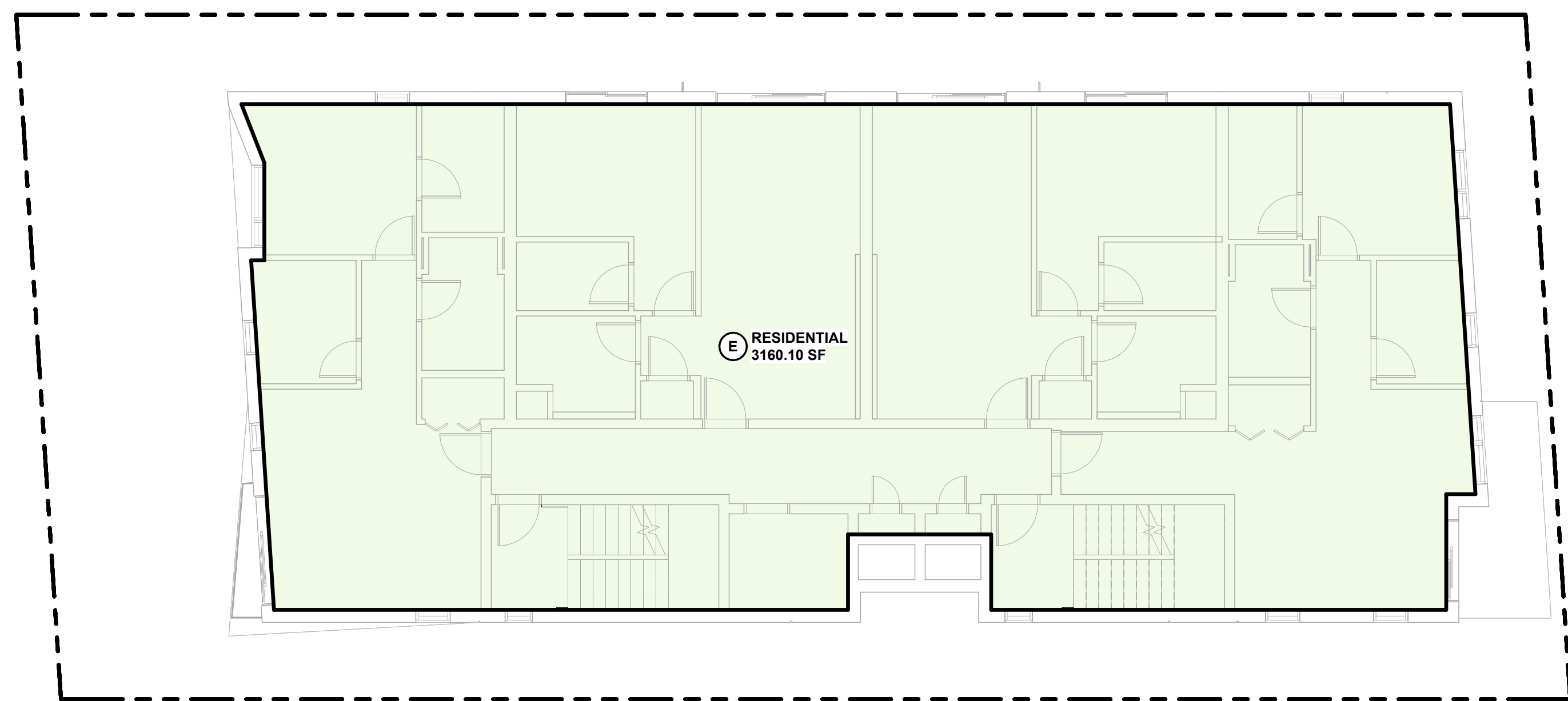
3 2ND FLOOR
1/8" = 1'-0"



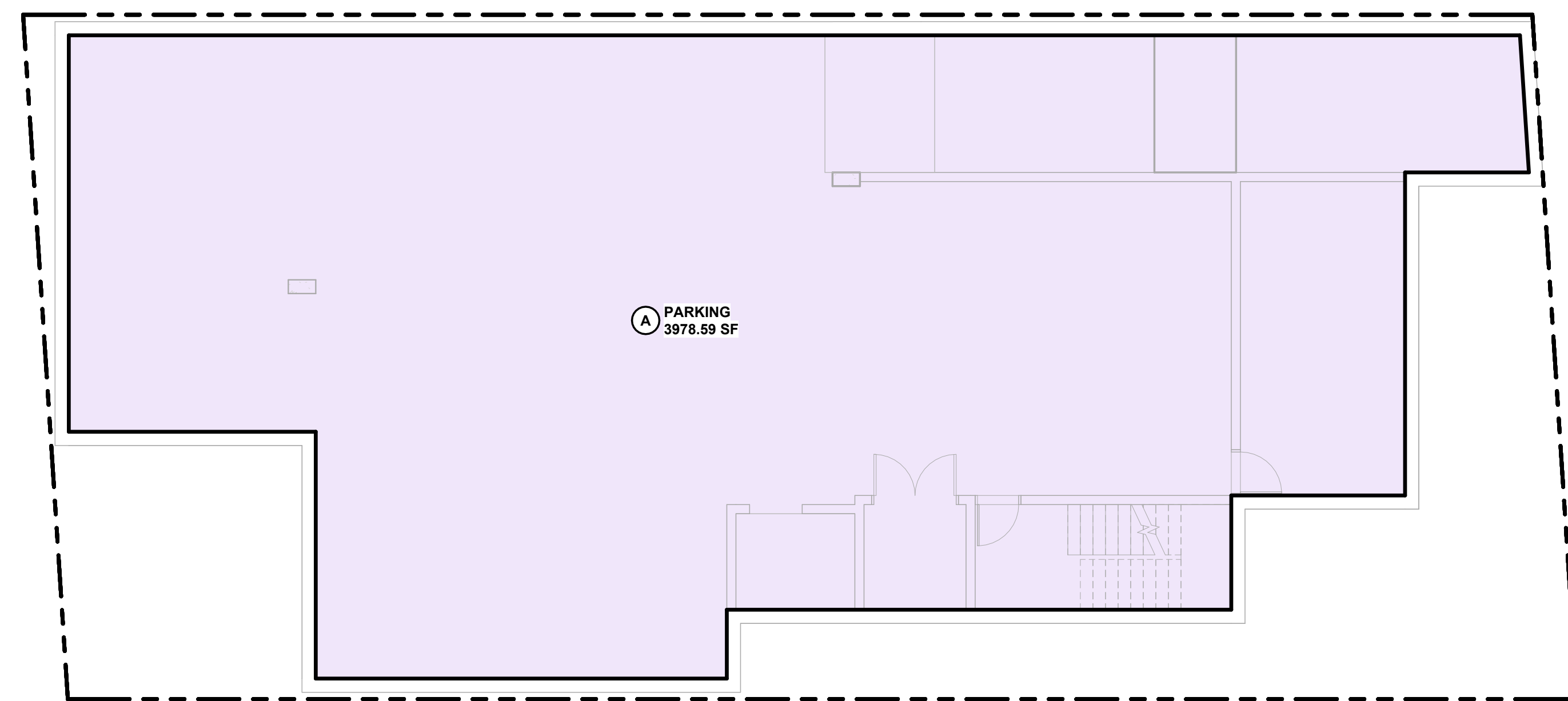
5 4TH FLOOR
1/8" = 1'-0"



2 1ST FLOOR
1/8" = 1'-0"



4 3RD FLOOR
1/8" = 1'-0"



1 P1 LEVEL
1/8" = 1'-0"

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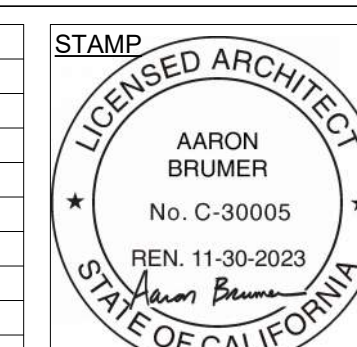
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ISSUE	DATE	DESCRIPTION



DRAWING TITLE
BUILDING AREA ANALYSIS

T041

2512 CENTINELA

**APPENDIX
ENVIRONMENTAL STANDARDS**

OVERVIEW

As described in Section 5 of this Specific Plan, these environmental standards are included to implement the Mitigation & Monitoring Program included as part of the Exposition Corridor Transit Neighborhood Plan (Specific Plan) Environmental Impact Report (Case No. ENV-2013-622-EIR, SCH# 2013051038), certified by the City Council on July 3, 2019 (EOTNP DR). As described in this Appendix D, some mitigation measures were implemented through regulations in this Specific Plan. Projects located within the Specific Plan boundaries, regardless of whether it is located within a Specific Plan Subarea or subject to EC zones, are required to comply with these environmental standards. Any other discretionary project within the Specific Plan boundaries that seeks to rely on the Exposition Corridor Transit Neighborhood Plan (Specific Plan) EIR for its CEQA clearance (including through tiering, preparing an addendum, supplemental EIR or a statutory infill exemption), may incorporate or impose the following environmental standards on the project. Compliance may be achieved through a covenant, conditions, plan notations, or other means determined reasonably effective by the Director of Planning or the decision-maker.

MITIGATION MEASURES

Aesthetics

- Mitigation Measure (Glare):** In accordance with the Urban Design Standards of this Specific Plan, Visible exterior surfaces of the proposed structure, fencing, recreational equipment, or outdoor art installations shall be constructed of materials such as, but not limited to, high-performance and/or non-reflective tinted glass (without mirror-like tints or films), pre-cast concrete, fabricated wall surfaces, composite materials, wood, coated metal, and stone to minimize glare and reflected heat.

Air Quality

- Mitigation Measure (Location of Ventilation Equipment):** In accordance with the Urban Design Standards of this Specific Plan: For Projects located

within 500 feet of a freeway and containing Sensitive Land Uses, locate air intakes for ventilation equipment as far from freeway sources as possible.

- Mitigation Measure (Window Operability Adjacent to Freeways):** In accordance with the Urban Design Standards of this Specific Plan: Where a property contains a Sensitive Land Use abutting a freeway right-of-way, no operable windows, balconies, or patios are allowed on the side of the building that faces the freeway.
- Mitigation Measure (Landscape Buffer Adjacent to Freeways):** In accordance with the Urban Design Standards of this Specific Plan: Projects containing a Sensitive Land Use abutting a freeway right-of-way shall provide a 10-foot-wide densely landscaped buffer from the Project's property line along the freeway.
- Mitigation Measure (Air Quality Best Practices):** Projects shall ensure all contractors include the best management practices provided in the bulleted list below in contract specifications:
 - Use properly tuned and maintained equipment.
 - Use diesel-fueled construction equipment to be retrofitted with after treatment products (e.g., engine catalysis) to the extent they are readily available and feasible.
 - Use heavy duty diesel-fueled equipment that uses low NO_x diesel fuel to the extent it is readily available and feasible.
 - Use construction equipment that uses low polluting fuels (i.e., compressed natural gas, liquid petroleum gas, and unleaded gasoline) to the extent available and feasible.
 - Maintain construction equipment in good operating condition to minimize pet pollutants.
 - Project applicants shall ensure that all construction equipment meets or exceeds equivalent emissions performance to that of U.S. Environmental Protection Agency (USEPA) Tier 4 standards for non-sulfur engines. In the event that Tier 4 engines are not available for any off-road equipment larger than 100 horsepower, that equipment shall be equipped with Tier 4 engines, or engines certified as equipped with retrofit controls to reduce exhaust emissions of nitrogen oxides and diesel particulate matter to no more than Tier 3 levels unless certified by engine manufacturers or the on-site air quality

construction mitigation manager that the use of such devices is not practical for specific engine types. For purposes of this condition, the use of such devices is "not practical" for the following, as well as other reasons:

- There is no available retrofit control device that has been verified by either the CARB or USEPA to control the engine in question to Tier 3.
- The construction equipment is intended to be on site for five days or less, or
- Relief may be granted from this requirement if a good faith effort has been made to comply with this requirement and that compliance is not practical.

- The use of a retrofit control device may be terminated immediately, provided that a replacement for the equipment item in question meeting the required controls occurs within ten days of termination of the use, if the equipment would be needed to continue working at this site for more than 15 days after the use of the retrofit control device is terminated. If one of the following conditions exists:
 - The use of the retrofit control device is excessively reducing the normal availability of the construction equipment due to increased down time for maintenance, and/or reduced power output due to an excessive increase in back pressure;
 - The retrofit control device is causing or is reasonably expected to cause engine damage;
 - The retrofit control device is causing or is reasonably expected to cause a substantial risk to workers or the public; or
 - Any other seriously detrimental cause which has the approval of the project manager prior to implementation of the termination.

- Mitigation Measure (Paleontology):** A qualified paleontologist is required to monitor excavation and grading activities in soils that have not been previously disturbed. All paleontological resources identified on a project site must be assessed and treated in a manner determined by a qualified paleontologist in consultation with the City's Office of Historic Resources. A report shall be prepared according to current professional standards that describes the resource, how it was assessed, and disposition.

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(Volatile Organic Compound standard of less than ten grams per liter).

- Construction contractors shall utilize materials that do not require painting, as feasible.
- Construction contractors shall use pre-painted construction materials, as feasible.

Cultural Resources

- Mitigation Measure (Archaeology):** A qualified archaeologist is required to monitor excavation and grading activities in soils that have not been previously disturbed, to identify, record, and evaluate the significance of any archaeological resources or tribal cultural resources during construction. All cultural resources, including archeological and tribal cultural resources, identified on a site must be assessed and treated in a manner determined appropriate by a qualified archaeologist in consultation with the City's Office of Historic Resources. A report shall be prepared according to current professional standards that describes the resource, how it was assessed, and disposition.

- Mitigation Measure (Paleontology):** A qualified paleontologist is required to monitor excavation and grading activities in soils that have not been previously disturbed. All paleontological resources identified on a project site must be assessed and treated in a manner determined by a qualified paleontologist in consultation with the City's Office of Historic Resources. A report shall be prepared according to current professional standards that describes the resource, how it was assessed, and disposition. Any other seriously detrimental cause which has the approval of the project manager prior to implementation of the termination.

Hydrology and Water Quality

- Mitigation Measure (Flood Plains):** In accordance with the Urban Design Standards of this Specific Plan: Buildings within a 100-year floodplain shall be designed and constructed a minimum of 1' foot above the 100-year flood water surface elevation to ensure the protection of structures from all flooding events.

Noise and Vibration

- Mitigation Measure (Construction Noise and Vibration):**

Construction contractors shall use electricity from power poles rather than temporary gasoline or diesel power generators, as feasible.

- Use building materials, paints, sealants, mechanical equipment, and other materials that yield low air pollutants and are nontoxic.

Construction contractors shall utilize super-compliant architectural coatings as defined by the South Coast Air Quality Management District

Haul Routes. Construction haul truck and materials delivery traffic shall avoid residential areas whenever feasible. If no alternatives are available, truck traffic shall be routed on streets with the fewest residences.

- **Construction Staging Areas.** The construction contractor shall locate construction staging areas away from Sensitive Land Uses.
- **Construction Noise Barriers.** When construction activities are located within 500 feet of Sensitive Land Uses, noise barriers (e.g., temporary walls or piles of excavated material) shall be constructed between activities and Sensitive Land Uses.
- **Vibrations.** The construction contractor shall manage construction phasing (scheduling demolition, earthmoving, and ground-improving operations so as not to occur in the same time period), use low-impact construction technologies, and shall avoid the use of vibrating equipment where possible to avoid construction vibration impacts.
- **Pile Driving Use and Location.** Impact pile drivers shall be avoided where possible near Sensitive Land Uses. Drilled piles or the use of a sonic vibratory pile driver are quieter alternatives that shall be utilized where geotechnical conditions permit their use. Noise shields shall be used when necessary to reduce noise of pile drilling/driving.
- **Pile Driving Control Measures:** The construction contractor shall utilize alternatives to impact pile drivers, such as sonic pile drivers or caisson drills. All geotechnical limitations require the use of pile driving control measures shall be used to reduce vibration levels. These measures may include, but are not limited to:
 - Prefilled holes;
 - Cast-in-place or auger cast piles;
 - Pile cushioning (i.e., a resilient material placed between the driving hammer and the pile);
 - Jetting (i.e., pumping a mixture of air and water through high-pressure nozzles to erode the soil adjacent to the pile); and
 - Non-displacement piles (i.e., piles that achieve capacity from the end bearing rather than the pile shaft).
- Construction equipment shall be equipped with mufflers that comply with manufacturers' requirements.

Utilities and Service Systems – Water Supply

- Mitigation Measure (Plumbing):**
 - Residential shower stalls shall have no more than one showerhead per stall, with a maximum flow rate per City Ordinance.
 - Toilets shall have a flush volume no more than 1.0 gallons of water per flush.
 - All urinals shall be waterless.
 - With the exception of those governed by City Ordinance No. 181480, all faucets shall be limited to a flow of 1.5 gallons per minute.
 - Residential clothes washers shall be high-efficiency and have a water factor of 5.0 or less. Commercial clothes washers shall be high-efficiency and have a water factor of 7.5 or less.
 - Domestic water heaters shall be located in close proximity to the point(s) of use, and all water heaters should be tankless and on-demand, where possible.
 - Cooling towers shall have conductivity controllers or pH conductivity controllers.
 - All residential units shall be either individually metered or sub-metered such that each unit is billed individually for its water use.
- Regulatory Compliance Measure (Parking Structure Floor and Ramp Treatment):** In accordance with the Urban Design Standards of this Specific Plan: Parking structures located within 200 feet of any Residential Use shall be constructed with a solid wall abutting the residences and utilize textured surfaces on garage floors and ramps to minimize tire squeal.
- Regulatory Compliance Measure (Landscape):** The Project shall comply with Ordinance No. 117078 (Water Management Ordinance), which imposes numerous water conservation measures in landscape, installation, and maintenance (e.g., use drip irrigation and soak hoses in lieu of sprinklers to lower the amount of water lost to evaporation and overspray, set automatic sprinkler systems to irrigate during the early morning or evening hours to minimize water loss due to evaporation, and water less in the cooler months and during the rainy season).

Utilities and Service Systems – Water Supply

- Regulatory Compliance Measure (Landscape):** The Project shall comply with Ordinance No. 117078 (Water Management Ordinance), which imposes numerous water conservation measures in landscape, installation, and maintenance (e.g., use drip irrigation and soak hoses in lieu of sprinklers to lower the amount of water lost to evaporation and overspray, set automatic sprinkler systems to irrigate during the early morning or evening hours to minimize water loss due to evaporation, and water less in the cooler months and during the rainy season).

Noise and Vibration

- Regulatory Compliance Measure (Worksite Traffic Control Plan):** Projects that require a worksite traffic control plan per current LADOT guidelines shall submit to LADOT for review and approval a plan that mitigates the impact of traffic disruption and ensures the safety of all users of the affected roadway. The plan shall address construction duration and activities and include measures, such as operating a temporary traffic signal, using flagmen adjacent to construction activities, or providing a dedicated pedestrian walkway, as appropriate.

**TRANSPORTATION STUDY ASSESSMENT
REFERRAL FORM**

DEPARTMENT OF TRANSPORTATION – REFERRAL FORM

RELATED CODE SECTION: Los Angeles Municipal Code Section 16.05 and various code sections.

PURPOSE: The Department of Transportation (LADOT) Referral Form serves as an initial assessment to determine whether a project requires a Transportation Assessment.

GENERAL INFORMATION

- Administrative: Prior to the submission of a referral form with LADOT, a Planning case must have been filed with the Department of City Planning.
- All new school projects, including by-right projects, must contact LADOT for an assessment of the school's proposed drop-off/pick-up scheme and to determine if any traffic controls, school warning and speed limit signs, school crosswalk and pavement markings, passenger loading zones and school bus loading zones are needed.
- Unless exempted, projects located within a transportation specific plan area may be required to pay a traffic impact assessment fee regardless of the need to prepare a transportation assessment.
- Pursuant to LAMC Section 19.15, a review fee payable to LADOT may be required to process this form. The applicant should contact the appropriate LADOT Development Services Office to arrange payment.

LADOT's Transportation Assessment Guidelines, VMT Calculator, and VMT Calculator User Guide can be found at <http://ladot.lacity.org>.

A transportation study is not needed for the following project applications:

- Ministerial/ by-right projects
- Discretionary projects limited to a request for change in hours of operation
- Tenant improvement within an existing shopping center for change of tenants
- Any project only installing a parking lot or parking structure
- Time extension
- Single family home (unless part of a subdivision)

This Referral Form is not intended to address the project's site access plan, driveway dimensions and location, internal circulation elements, dedication and widening, etc. These items require separate review and approval by LADOT.

SPECIAL REQUIREMENTS

When submitting this referral form to LADOT, include the completed documents listed below.

- Copy of Department of City Planning Application (CP-7771.1).
- Copy of a fully dimensioned site plan showing all existing and proposed structures, parking and loading areas, driveways, as well as on-site and off-site circulation.
- Filing for purposes of Site Plan Review, a copy of the Site Plan Review Supplemental Application.
- Copy of project-specific VMT Calculator¹ analysis results.

CP-2151.1 Transportation Study Assessment (07/20/2020) Page 1 of 4

TO BE COMPLETED BY LADOT

3. PROJECT INFORMATION

Proposed	Land Use (list all)	Size / Unit	Daily Trips
		Apartments	14 / Units
		Total new trips:	67
Existing	Single Family Dwelling	1 / Unit	7
		Total existing trips:	7
		Net Increase / Decrease (+ or -)	60

- Is the project a single retail use that is less than 50,000 square feet? Yes No
- Would the project generate a net increase of 250 or more daily vehicle trips? Yes No
- Would the project result in a net increase in daily VMT? Yes No
- Is the project replacing an existing number of residential units with a smaller number of residential units, is the proposed project located within one-half mile of a heavy rail, light rail, or bus rapid transit station? Yes No
- Does the project trigger Site Plan Review (LAMC 16.05)? Yes No
- Project size:
 - Would the project generate a net increase of 1,000 or more daily vehicle trips? Yes No
 - Is the project's frontage 250 linear feet or more along a street classified as an Avenue or Boulevard per the City's General Plan? Yes No
 - Is the project's building frontage encompassing an entire block along a street classified as an Avenue or Boulevard per the City's General Plan? Yes No

VMT Analysis (CEQA Review)
If YES to a and NO to d, a VMT analysis is NOT required.
If YES to both b and c, or to d, a VMT analysis is required.

Access, Safety, and Circulation Assessment (Corrective Conditions)
If YES to b, a project access, safety, and circulation evaluation may be required.
If YES to e, and either f.i., f.ii., or f.iii., an access assessment may be required.

LADOT Comments:
LADOT performed an initial review for this project on 2-22-2021. The project was doing a TOC approval / Zoning plan check. The Planner (Dyan Stilling) asked LADOT if a driveway on Centinela Blvd will be acceptable. The driveway on Centinela Ave was requested by the Mar Vista Neighborhood Council and Planning and Land Use Committee to be the primary vehicular entrance - to reduce traffic congestion at the intersection of Centinela Ave and Pearl St.

ARCHITECT:
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North Hollywood, CA 91602
(310) 422-9234

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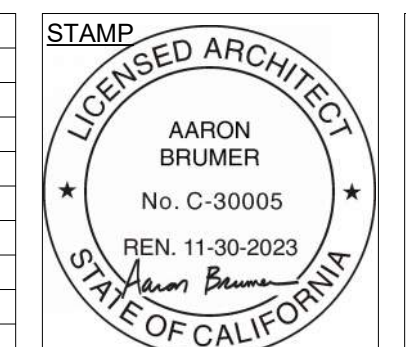
LANDSCAPE:
Savage Land Design
680 Langsdorf Drive, Suite 202B
Fullerton, CA 92831
714-878-0355

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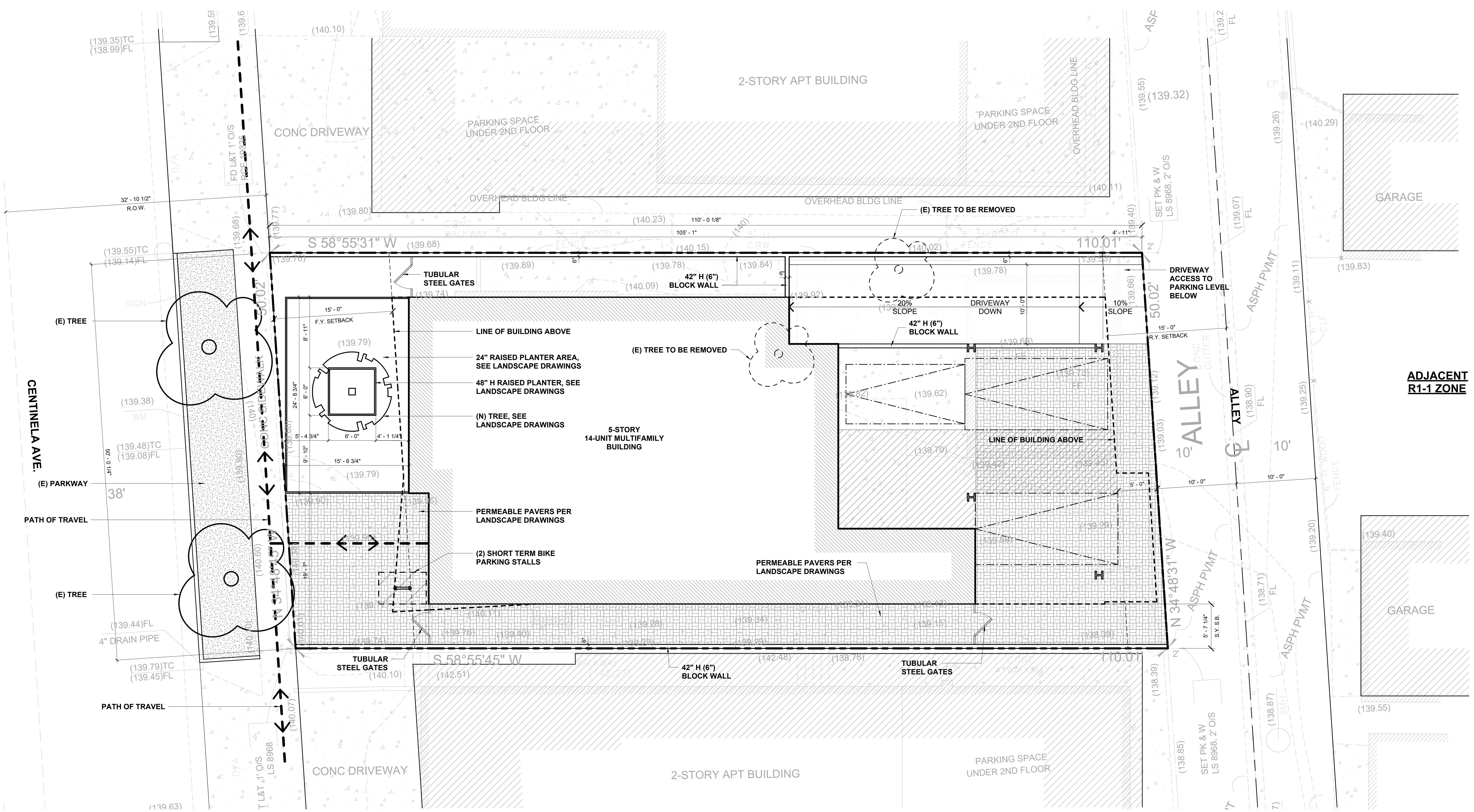


DRAWING TITLE
PLANNING REPORTS

T063

2512 CENTINELA

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1 SITE PLAN
3/16" = 1'-0"

LADBS STAMP

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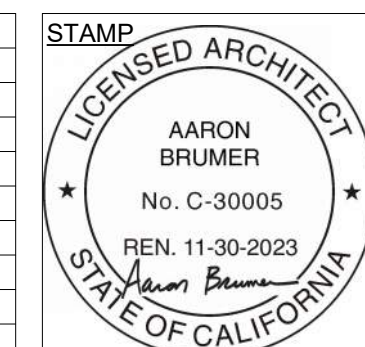
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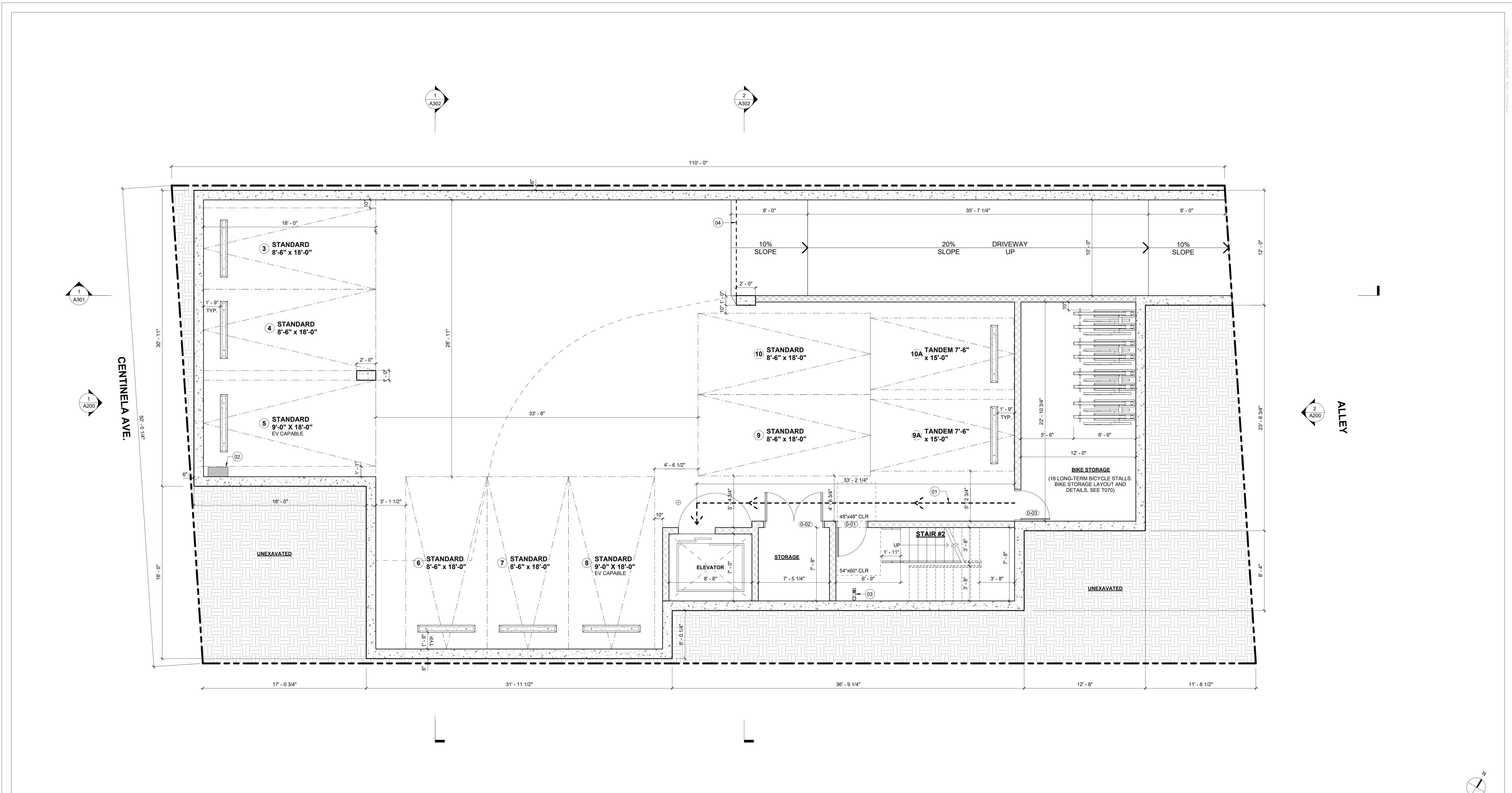


DRAWING TITLE
SITE PLAN

A000

2512 CENTINELA

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1 P1 LEVEL
1/4" = 1'-0"

- KEYNOTES**
- 01 HIDDEN LINE INDICATES ACCESSIBLE ROUTE OF TRAVEL
 - 02 EV CHARGING STATION INSTALLED W/ MIN. 1-INCH (INSIDE DIAMETER) RACEWAY TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT. RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE EVCS INTO A LISTED CABINET, BOX, OR ENCLOSURE.
 - 03 STANDPIPE
 - 04 PARKING SECURITY GATE

- LEGEND**
- CONCRETE WALL - SEE STRUCTURAL DRAWINGS
 - 8" CMU WALL - SEE STRUCTURAL DRAWINGS
 - 2 X 6 WD STUD WALL - SEE STRUCTURAL DRAWINGS
 - 2 X 4 WD STUD WALL - SEE STRUCTURAL DRAWINGS
 - 2-2 X 4 WD STUD WALL - SEE STRUCTURAL DRAWINGS
 - 1-HR RATED CONSTRUCTION
 - 2-HR RATED CONSTRUCTION
 - CM CARBON MONOXIDE ALARM, HARD-WIRED W/ BATTERY BACK-UP
 - S CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP
 - T ENERGY EFFICIENT THERMOSTAT; SEE SHT T071
 - WHISPER-QUIET CEILING EXHAUST FAN/LIGHT COMBO, 50 CFM MIN. ENERGY STAR RATED, HUMIDISTAT CONTROLLED, EXHAUST FAN DUCTED TO EXTERIOR

SHEET NOTES

1. STANDARD + TANDEM STALLS TO BE PROVIDED TO THE SAME UNIT
2. PER ORDINANCE 184245: NEW MECHANICALLY VENTILATED BUILDINGS TO INSTALL AIR FILTRATION MEDIA THAT PROVIDES A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 13"

LADBS STAMP

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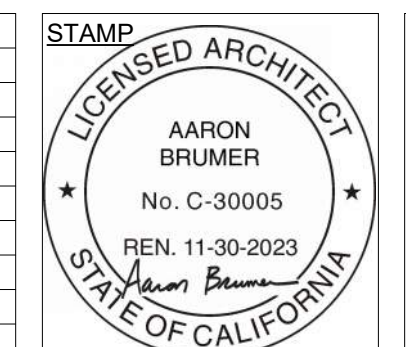
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4	08/30/2023	PZA SUBMITTAL #4
5	09/21/2023	CITY PLANNING SUBMITTAL #1

ISSUE	DATE	DESCRIPTION

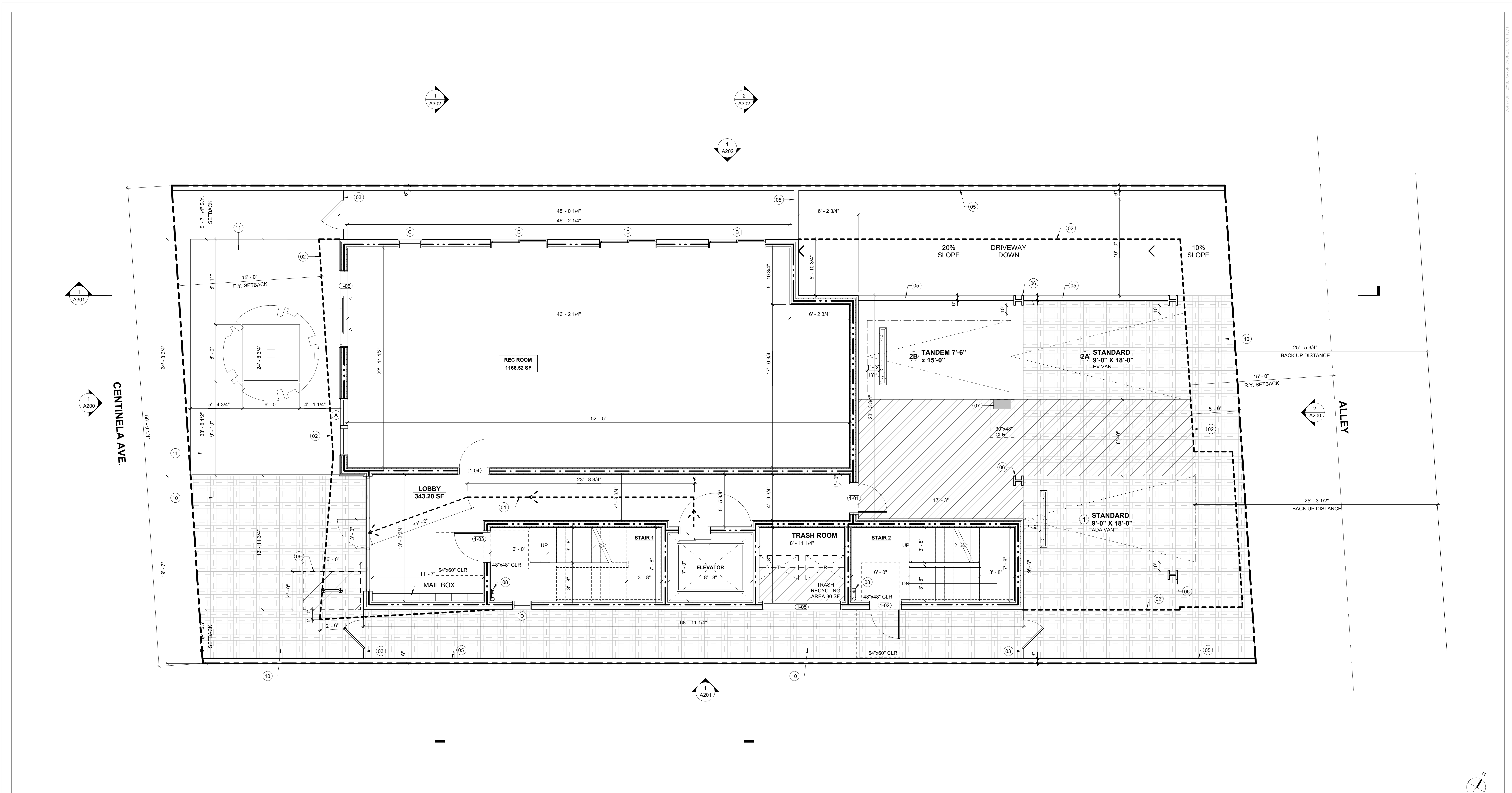


DRAWING TITLE
P1 LEVEL PLAN

A110

2512 CENTINELA

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1 1ST FLOOR PLAN
1/4" = 1'-0"

- KEYNOTES**
- 01 HIDDEN LINE INDICATES ACCESSIBLE ROUTE OF TRAVEL
 - 02 LINE OF BUILDING ABOVE
 - 03 TUBULAR STEEL GATES
 - 04 TUBULAR STEEL FENCE
 - 05 42" H (6") BLOCK WALL
 - 06 STEEL COLUMN
 - 07 EV CHARGING STATION INSTALLED W/ MIN. 1-INCH (INSIDE DIAMETER) RACEWAY TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT. RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE EVCS INTO A LISTED CABINET, BOX, OR ENCLOSURE.
 - 08 STANDPIPE
 - 09 2 SHORT TERM BICYCLE PARKING STALLS
 - 10 PERMEABLE PAVERS PER LANDSCAPE DRAWINGS
 - 11 PLANTER AREA PER LANDSCAPE DRAWINGS

- LEGEND**
- 2 X 6 WD STUD WALL- SEE STRUCTURAL DRAWINGS
 - 2 X 4 WD STUD WALL- SEE STRUCTURAL DRAWINGS
 - 2-2 X 4 WD STUD WALL- SEE STRUCTURAL DRAWINGS
 - 1-HR RATED CONSTRUCTION
 - 2-HR RATED CONSTRUCTION
 - CARBON MONOXIDE ALARM, HARD-WIRED W/ BATTERY BACK-UP
 - CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP
 - ENERGY EFFICIENT THERMOSTAT, SEE SHT T071
 - WHISPER-QUIET CEILING EXHAUST FAN/LIGHT COMBO, 50 CFM MIN. ENERGY STAR RATED, HUMIDISTAT CONTROLLED, EXHAUST FAN DUCTED TO EXTERIOR
 - ELECTRICAL PANEL

SHEET NOTES

1. STANDARD + TANDEM STALLS TO BE PROVIDED TO THE SAME UNIT
2. PER ORDINANCE 184245: NEW MECHANICALLY VENTILATED BUILDINGS TO INSTALL AIR FILTRATION MEDIA THAT PROVIDES A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 13"

LADBS STAMP

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(310) 422-9234

STRUCTURAL:

CIVIL:

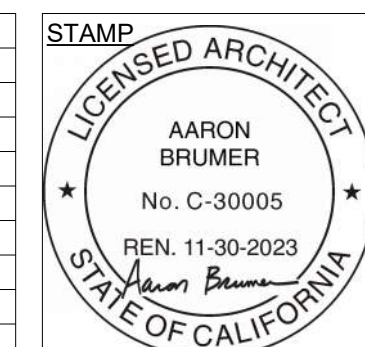
LANDSCAPE:
Savage Land Design
680 Langsdorf Drive, Suite 202B
Fullerton, CA 92831
714-878-0335

OWNER:

PROJECT:
14 UNIT MULTIFAMILY BUILDING
2512 CENTINELA AVE
LOS ANGELES, CA 90064

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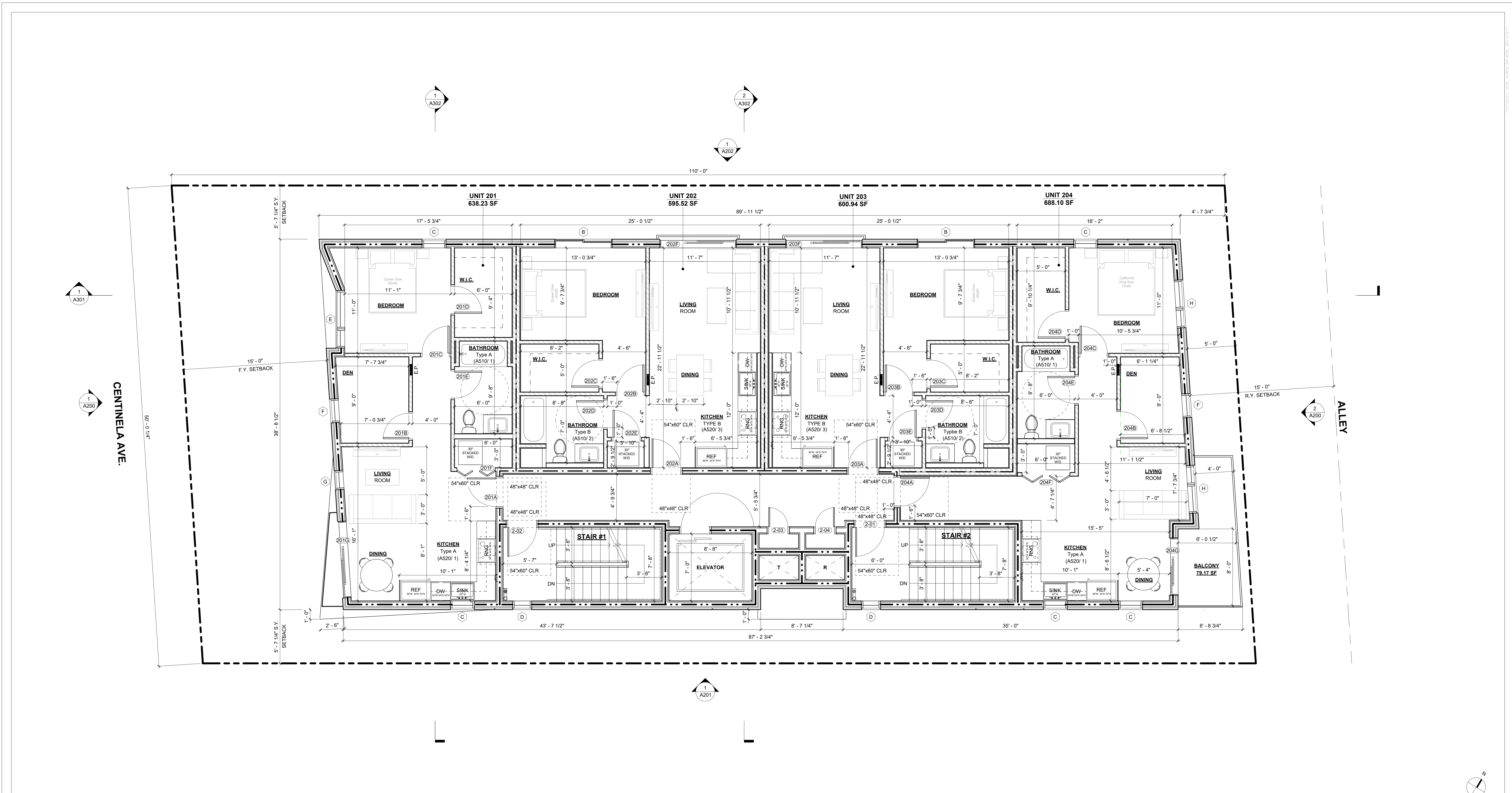
ISSUE	DATE	DESCRIPTION



DRAWING TITLE
1ST FLOOR PLAN

A111

2512 CENTINELA



1 2ND FLOOR PLAN
1/4" = 1'-0"

KEYNOTES

	2 X 6 WD STUD WALL- SEE STRUCTURAL DRAWINGS
	2 X 4 WD STUD WALL- SEE STRUCTURAL DRAWINGS
	2-2 X 4 WD STUD WALL SEE STRUCTURAL DRAWINGS
	1-HR RATED CONSTRUCTION
	2-HR RATED CONSTRUCTION

LEGEND

	CARBON MONOXIDE ALARM, HARD-WIRED W/ BATTERY BACK-UP
	CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP
	ENERGY EFFICIENT THERMOSTAT, SEE SHT T071
	WHISPER-QUIET CEILING EXHAUST FAN/LIGHT COMBO, 50 CFM MIN, ENERGY STAR RATED, HUMIDISTAT CONTROLLED, EXHAUST FAN, DUCTED TO EXTERIOR
	E.P. ELECTRICAL PANEL

SHEET NOTES

- PER ORDINANCE 184245: NEW MECHANICALLY VENTILATED BUILDINGS TO INSTALL AIR FILTRATION MEDIA THAT PROVIDES A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 13"

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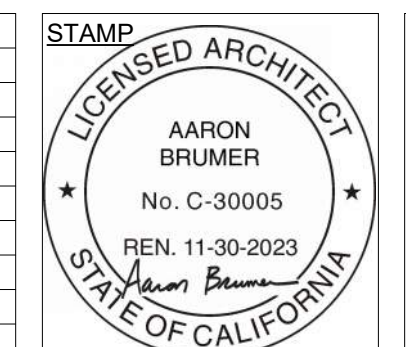
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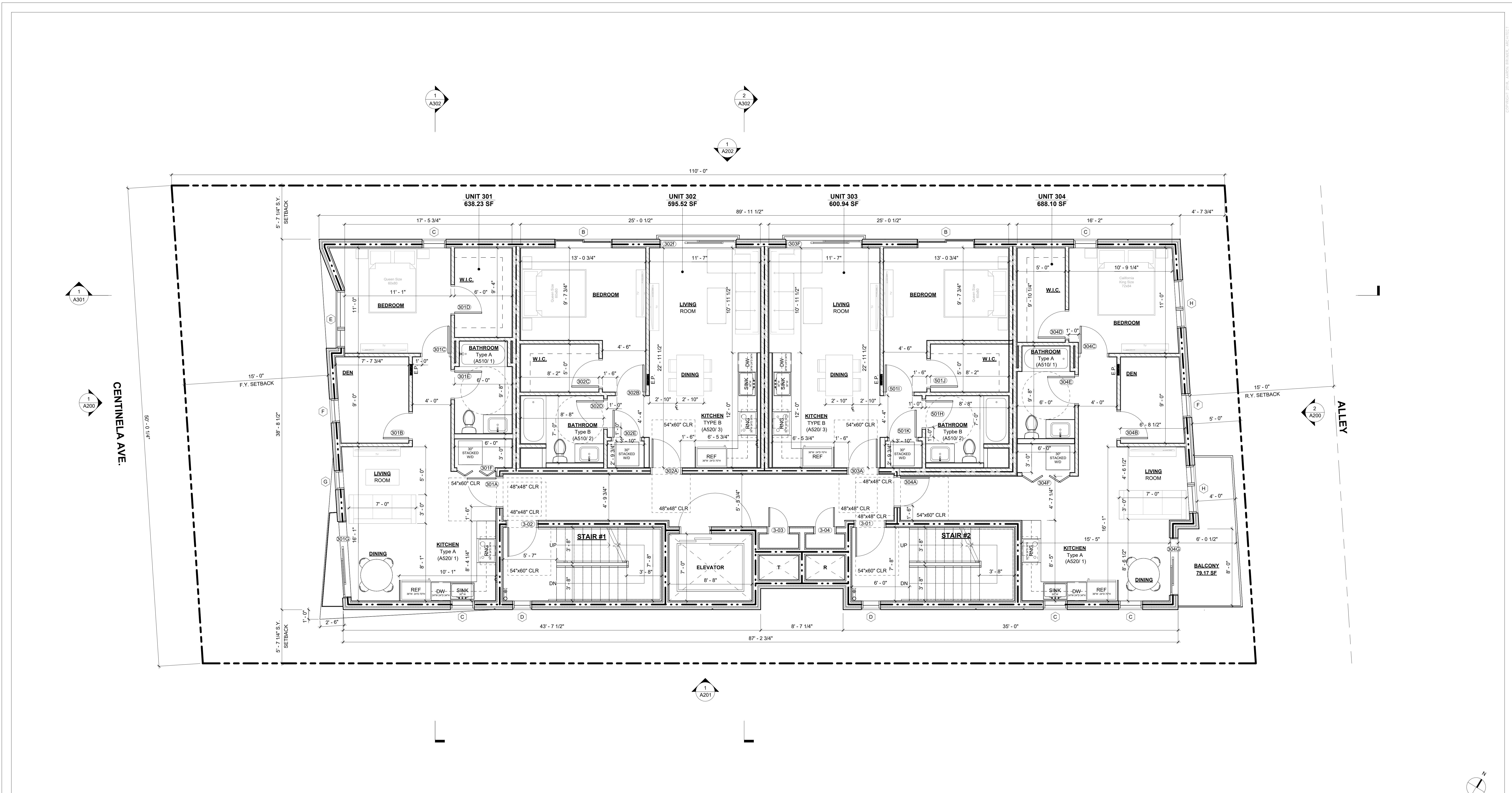
ISSUE	DATE	DESCRIPTION



DRAWING TITLE
2ND FLOOR PLAN

A112

2512 CENTINELA



1 3RD FLOOR PLAN
1/4" = 1'-0"

KEYNOTES

LEGEND

	2 X 6 WD STUD WALL- SEE STRUCTURAL DRAWINGS		CARBON MONOXIDE ALARM, HARD-WIRED W/ BATTERY BACK-UP
	2 X 4 WD STUD WALL- SEE STRUCTURAL DRAWINGS		CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP
	2-2 X 4 WD STUD WALL SEE STRUCTURAL DRAWINGS		ENERGY EFFICIENT THERMOSTAT, SEE SHT T071
	1-HR RATED CONSTRUCTION		WHISPER-QUIET CEILING EXHAUST FAN/LIGHT COMBO, 50 CFM MIN, ENERGY STAR RATED, HUMIDISTAT CONTROLLED, EXHAUST FAN DUCTED TO EXTERIOR
	2-HR RATED CONSTRUCTION		ELECTRICAL PANEL

SHEET NOTES

1. PER ORDINANCE 184245: NEW MECHANICALLY VENTILATED BUILDINGS TO INSTALL AIR FILTRATION MEDIA THAT PROVIDES A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 13"

LADBS STAMP

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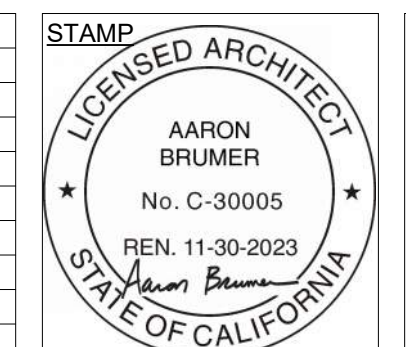
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680 Langsdorf Drive, Suite 202B
Fullerton, CA 92831
714-878-0335

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LOS ANGELES, CA 90064

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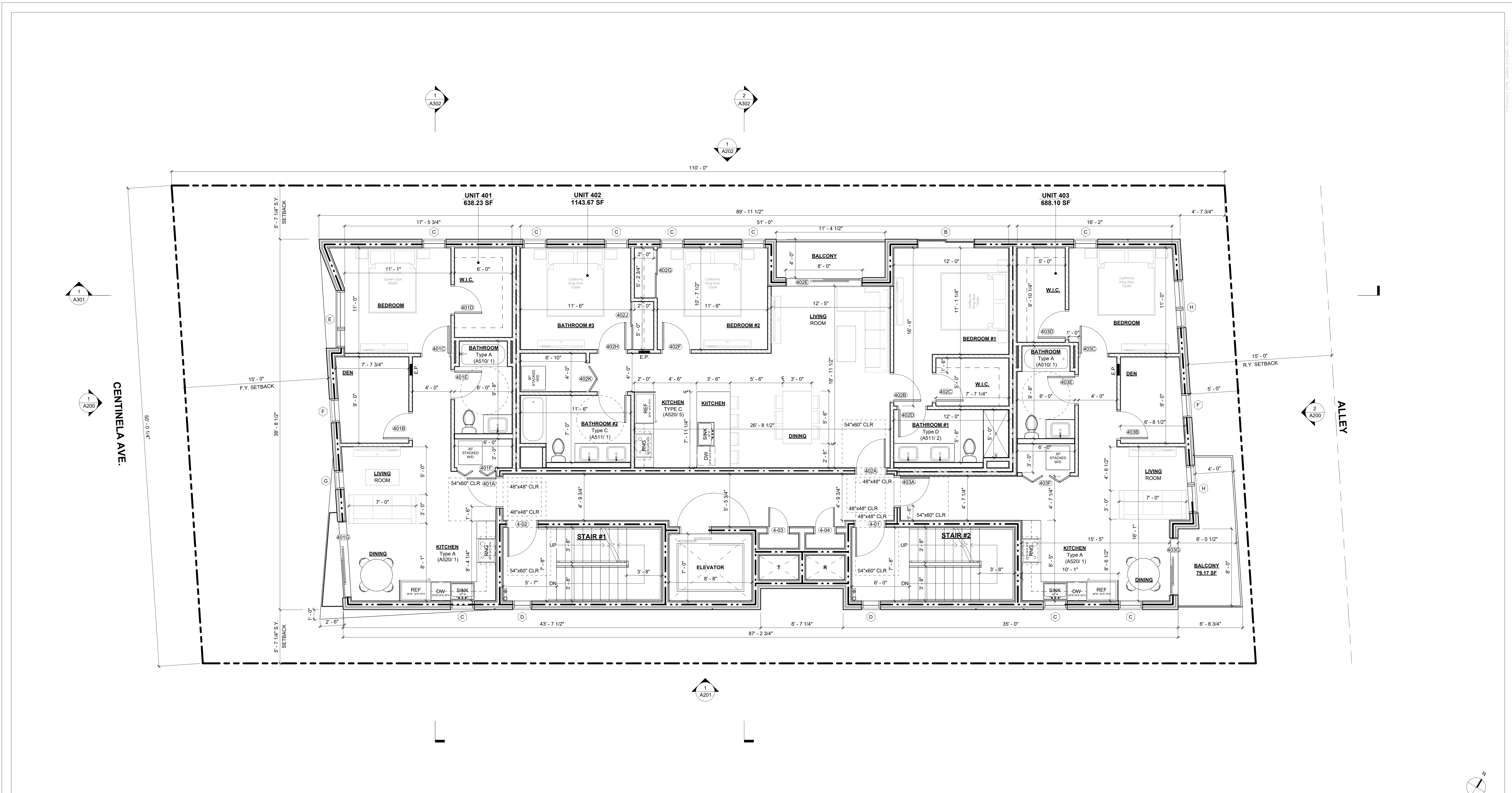
ISSUE	DATE	DESCRIPTION



DRAWING TITLE
3RD FLOOR PLAN

A113

2512 CENTINELLA



1 4TH FLOOR PLAN
1/4" = 1'-0"

KEYNOTES

LEGEND

	2 X 6 WD STUD WALL- SEE STRUCTURAL DRAWINGS		CARBON MONOXIDE ALARM, HARD-WIRED W/ BATTERY BACK-UP
	2 X 4 WD STUD WALL- SEE STRUCTURAL DRAWINGS		CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP
	2-2 X 4 WD STUD WALL SEE STRUCTURAL DRAWINGS		ENERGY EFFICIENT THERMOSTAT, SEE SHT T071
	1-HR RATED CONSTRUCTION		WHISPER-QUIET CEILING EXHAUST FAN/LIGHT COMBO, 50 CFM MIN, ENERGY STAR RATED, HUMIDISTAT CONTROLLED, EXHAUST FAN DUCTED TO EXTERIOR
	2-HR RATED CONSTRUCTION		E.P. ELECTRICAL PANEL

SHEET NOTES

1. PER ORDINANCE 184245: NEW MECHANICALLY VENTILATED BUILDINGS TO INSTALL AIR FILTRATION MEDIA THAT PROVIDES A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 13"

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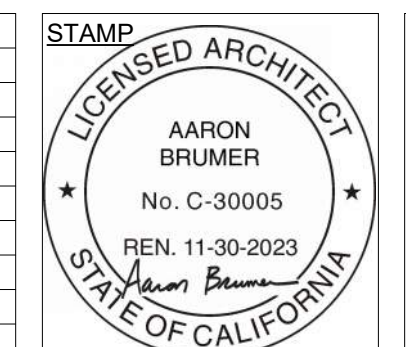
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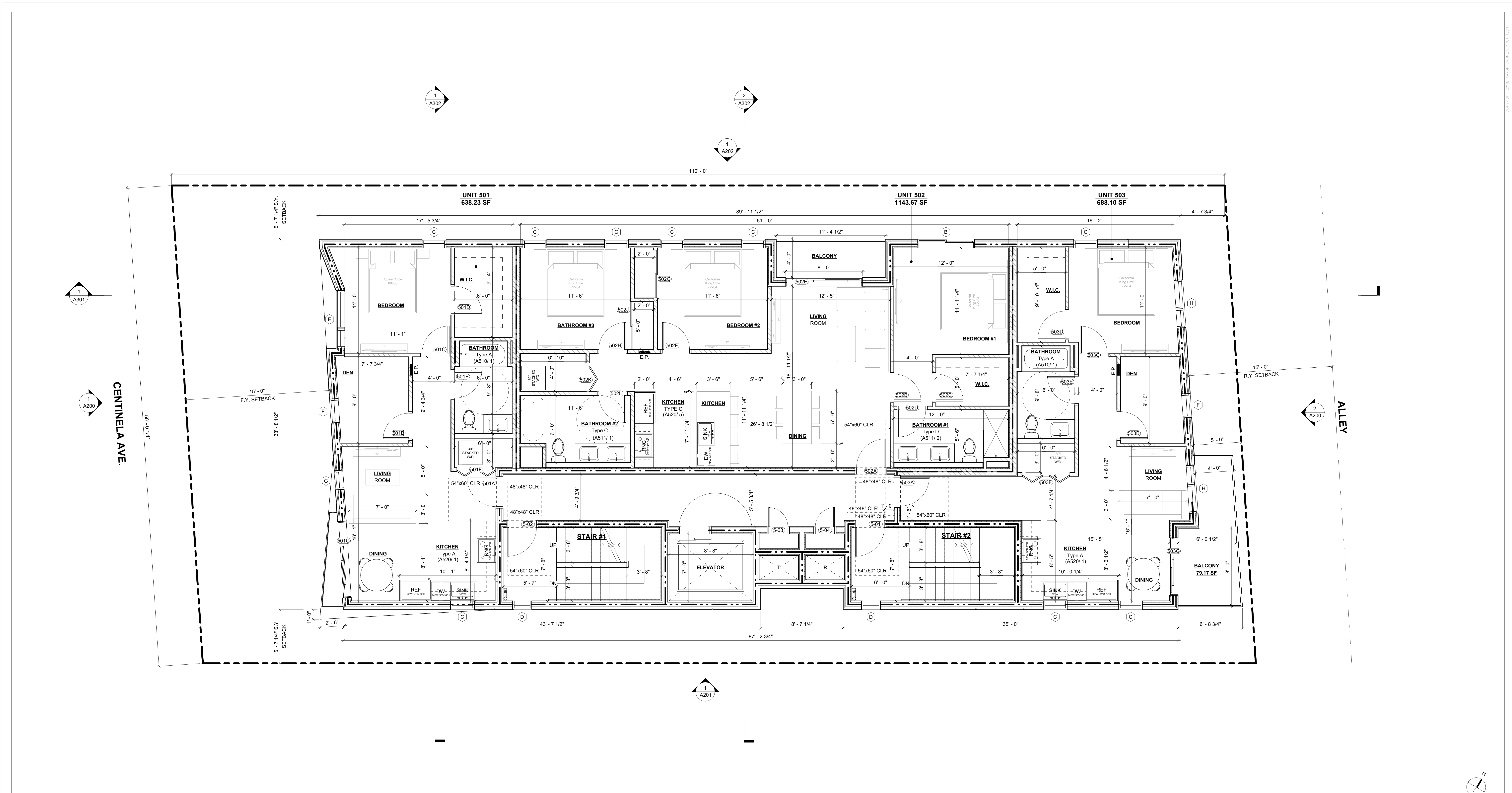
ISSUE	DATE	DESCRIPTION



DRAWING TITLE
4TH FLOOR PLAN

A114

2512 CENTINELA



1 5TH FLOOR PLAN
1/4" = 1'-0"

KEYNOTES

LEGEND

	2 X 6 WD STUD WALL- SEE STRUCTURAL DRAWINGS		CARBON MONOXIDE ALARM, HARD-WIRED W/ BATTERY BACK-UP
	2 X 4 WD STUD WALL- SEE STRUCTURAL DRAWINGS		CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP
	2-2 X 4 WD STUD WALL SEE STRUCTURAL DRAWINGS		ENERGY EFFICIENT THERMOSTAT, SEE SHT T071
	1-HR RATED CONSTRUCTION		WHISPER-QUIET CEILING EXHAUST FAN/LIGHT COMBO, 50 CFM MIN, ENERGY STAR RATED, HUMIDISTAT CONTROLLED, EXHAUST FAN DUCTED TO EXTERIOR
	2-HR RATED CONSTRUCTION		E.P. ELECTRICAL PANEL

SHEET NOTES

- PER ORDINANCE 184245: NEW MECHANICALLY VENTILATED BUILDINGS TO INSTALL AIR FILTRATION MEDIA THAT PROVIDES A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 13"

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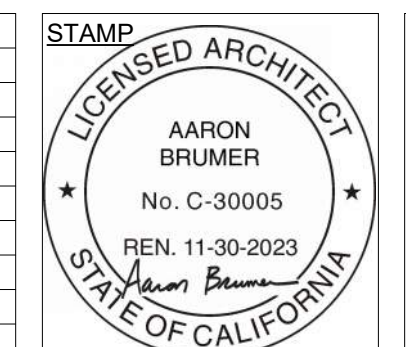
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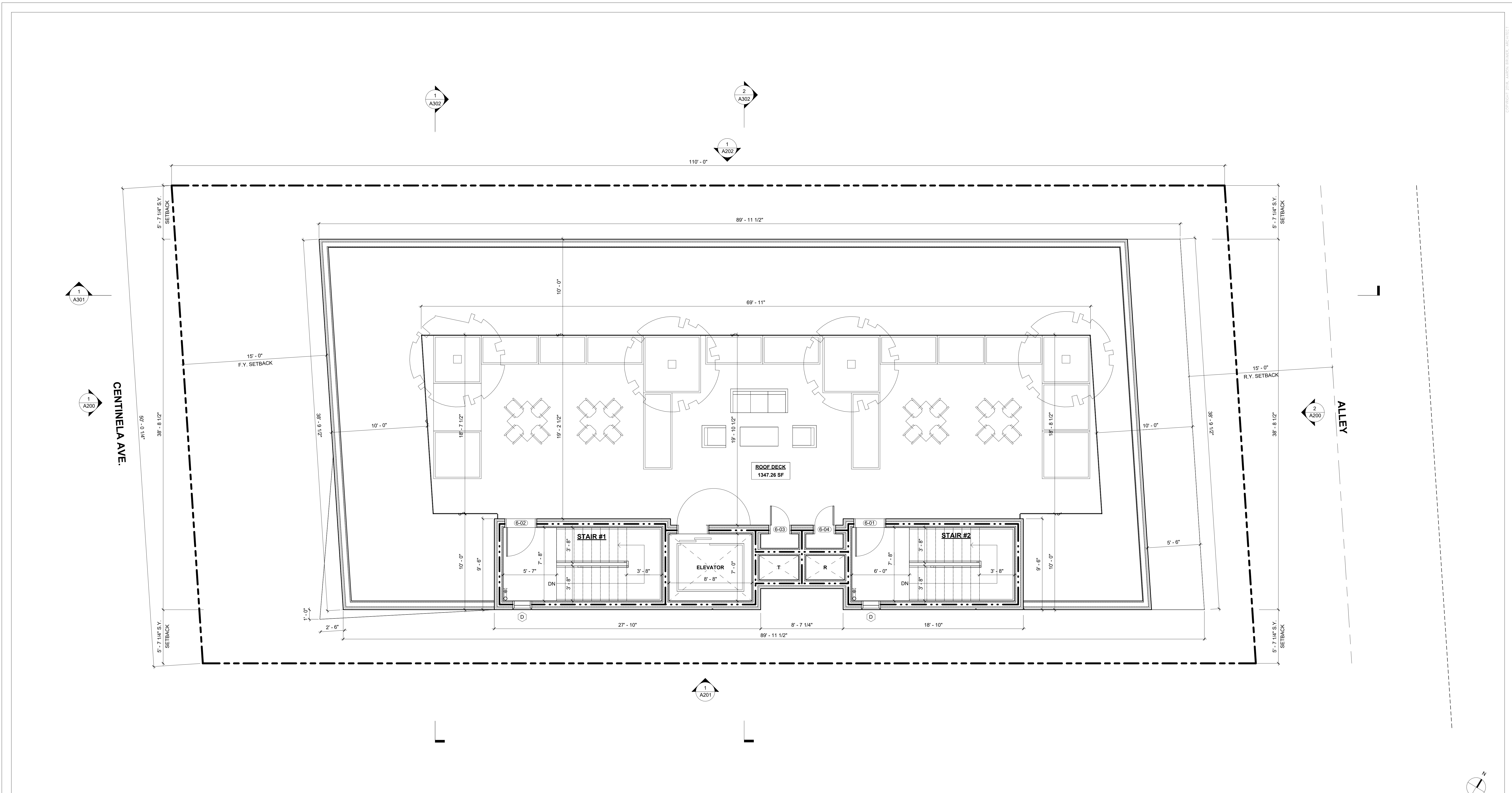
ISSUE	DATE	DESCRIPTION



DRAWING TITLE
5TH FLOOR PLAN

A115

2512 CENTINELA



1 ROOF PLAN
1/4" = 1'-0"

KEYNOTES

LEGEND

	2 X 6 WD STUD WALL- SEE STRUCTURAL DRAWINGS		CARBON MONOXIDE ALARM, HARD-WIRED W/ BATTERY BACK-UP
	2 X 4 WD STUD WALL- SEE STRUCTURAL DRAWINGS		CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP
	2-2 X 4 WD STUD WALL SEE STRUCTURAL DRAWINGS		ENERGY EFFICIENT THERMOSTAT, SEE SHT T071
	1-HR RATED CONSTRUCTION		WHISPER-QUIET CEILING EXHAUST FAN/LIGHT COMBO, 50 CFM MIN, ENERGY STAR RATED, HUMIDISTAT CONTROLLED, EXHAUST FAN DUCTED TO EXTERIOR
	2-HR RATED CONSTRUCTION		E.P. ELECTRICAL PANEL

SHEET NOTES

1. PER ORDINANCE 184245: NEW MECHANICALLY VENTILATED BUILDINGS TO INSTALL AIR FILTRATION MEDIA THAT PROVIDES A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 13"

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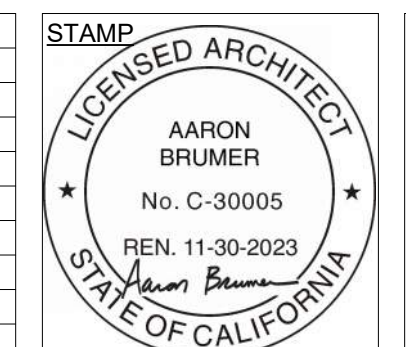
LANDSCAPE:
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Fullerton, CA 92831
714-878-0335

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PROJECT:
14 UNIT MULTIFAMILY
BUILDING
2512 CENTINELA AVE
LOS ANGELES, CA 90064

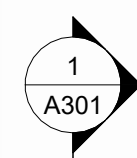
ISSUE	DATE	DESCRIPTION
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3	08/22/2023	PZA SUBMITTAL #3
4	08/30/2023	PZA SUBMITTAL #4
5	09/21/2023	CITY PLANNING SUBMITTAL #1

ISSUE	DATE	DESCRIPTION



DRAWING TITLE
ROOF PLAN

A116
2512 CENTINELA



MAX BLDG HEIGHT
205' - 4 3/4"

T.O. ELEVATOR
OVERRUN
200' - 1"

T.O. PARAPET
194.39' = 194' - 4 5/8"

ROOF DECK
189.00'

5TH FLOOR
179' - 4"

4TH FLOOR
169' - 8"

3RD FLOOR
160' - 0"

2ND FLOOR
150' - 4"

1ST FLOOR
140' - 4"

GRADE PLANE
139' - 5 1/2"

LOW PT
138.39' = 138' - 4 5/8"

P1 LEVEL
130' - 4"

67' - 0"
MAX BUILDING HEIGHT

56' - 0"
BUILDING HEIGHT

9' - 8"

9' - 8"

9' - 8"

10' - 0"

9' - 8"

9' - 8"

9' - 8"

10' - 0"

9' - 8"

9' - 8"

9' - 8"

10' - 0"

9' - 8"

9' - 8"

SMOOTH PAINTED STUCCO - LIGHT GREY
(STU-3)

SMOOTH PAINTED STUCCO - WHITE
(STU-1)

LIGHTWEIGHT FIBER CEMENT HORIZONTAL SIDING, WOOD TEXTURE FINISH
(LFC-1)

42" HIGH GUARDRAIL, ALUMINIUM, BRUSHED METAL, DARK GREY

SMOOTH PAINTED STUCCO - LIGHT GREY
(STU-3)

LIGHTWEIGHT FIBER CEMENT HORIZONTAL SIDING, WOOD TEXTURE FINISH
(LFC-1)

BACK RESIDENTIAL ENTRY

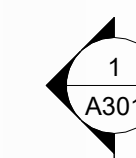
BLOCK WALL

- NOTES:
- WINDOWS/DOORS WILL BE RECESSED 2 INCHES FROM THE BUILDING FACADE
 - VISIBLE EXTERIOR SURFACES SHALL BE OF HIGH-PERFORMANCE AND/OR NON-REFLECTIVE TINTED GLASS (WITHOUT MIRROR-LIKE TINTS OR FILMS)

ELEVATION FINISHES

TYPE	DESCRIPTION	REMARKS
LFC-1	LIGHTWEIGHT FIBER CEMENT HORIZONTAL SIDING, WOOD TEXTURE FINISH	
STU-1	SMOOTH PAINTED STUCCO - WHITE	
STU-2	SMOOTH PAINTED STUCCO - DARK GREY	
STU-3	SMOOTH PAINTED STUCCO - LIGHT GREY	

2 EAST EXTERIOR ELEVATION
1/4" = 1'-0"



MAX BLDG HEIGHT
205' - 4 3/4"

T.O. ELEVATOR
OVERRUN
200' - 1"

T.O. PARAPET
194.39' = 194' - 4 5/8"

ROOF DECK
189.00'

5TH FLOOR
179' - 4"

4TH FLOOR
169' - 8"

3RD FLOOR
160' - 0"

2ND FLOOR
150' - 4"

1ST FLOOR
140' - 4"

GRADE PLANE
139' - 5 1/2"

LOW PT
138.39' = 138' - 4 5/8"

P1 LEVEL
130' - 4"

67' - 0"
MAX BUILDING HEIGHT

56' - 0"
BUILDING HEIGHT

9' - 8"

9' - 8"

9' - 8"

10' - 0"

9' - 8"

9' - 8"

9' - 8"

10' - 0"

9' - 8"

9' - 8"

9' - 8"

10' - 0"

9' - 8"

9' - 8"

SMOOTH PAINTED STUCCO - WHITE
(STU-1)

SMOOTH PAINTED STUCCO - LIGHT GREY
(STU-3)

WINDOW, VINYL, DARK GREY

LIGHTWEIGHT FIBER CEMENT HORIZONTAL SIDING, WOOD TEXTURE FINISH
(LFC-1)

SMOOTH PAINTED STUCCO - WHITE
(STU-1)

SMOOTH PAINTED STUCCO - DARK GREY
(STU-2)

BLOCK WALL

- NOTES:
- WINDOWS/DOORS WILL BE RECESSED 2 INCHES FROM THE BUILDING FACADE
 - VISIBLE EXTERIOR SURFACES SHALL BE OF HIGH-PERFORMANCE AND/OR NON-REFLECTIVE TINTED GLASS (WITHOUT MIRROR-LIKE TINTS OR FILMS)

ELEVATION FINISHES

TYPE	DESCRIPTION	REMARKS
LFC-1	LIGHTWEIGHT FIBER CEMENT HORIZONTAL SIDING, WOOD TEXTURE FINISH	
STU-1	SMOOTH PAINTED STUCCO - WHITE	
STU-2	SMOOTH PAINTED STUCCO - DARK GREY	
STU-3	SMOOTH PAINTED STUCCO - LIGHT GREY	

1 WEST EXTERIOR ELEVATION
1/4" = 1'-0"

LADBS STAMP

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 302
North Hollywood, CA 91602
(310) 422-9234

STRUCTURAL:

CIVIL:

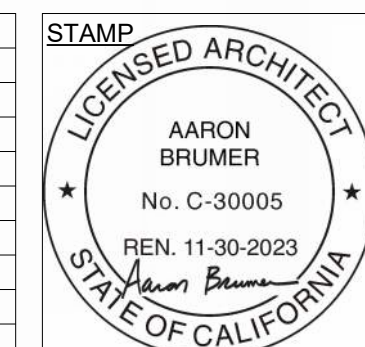
LANDSCAPE:
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680 Langsdorf Drive, Suite 202B
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714-878-0335

OWNER:

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14 UNIT MULTIFAMILY BUILDING
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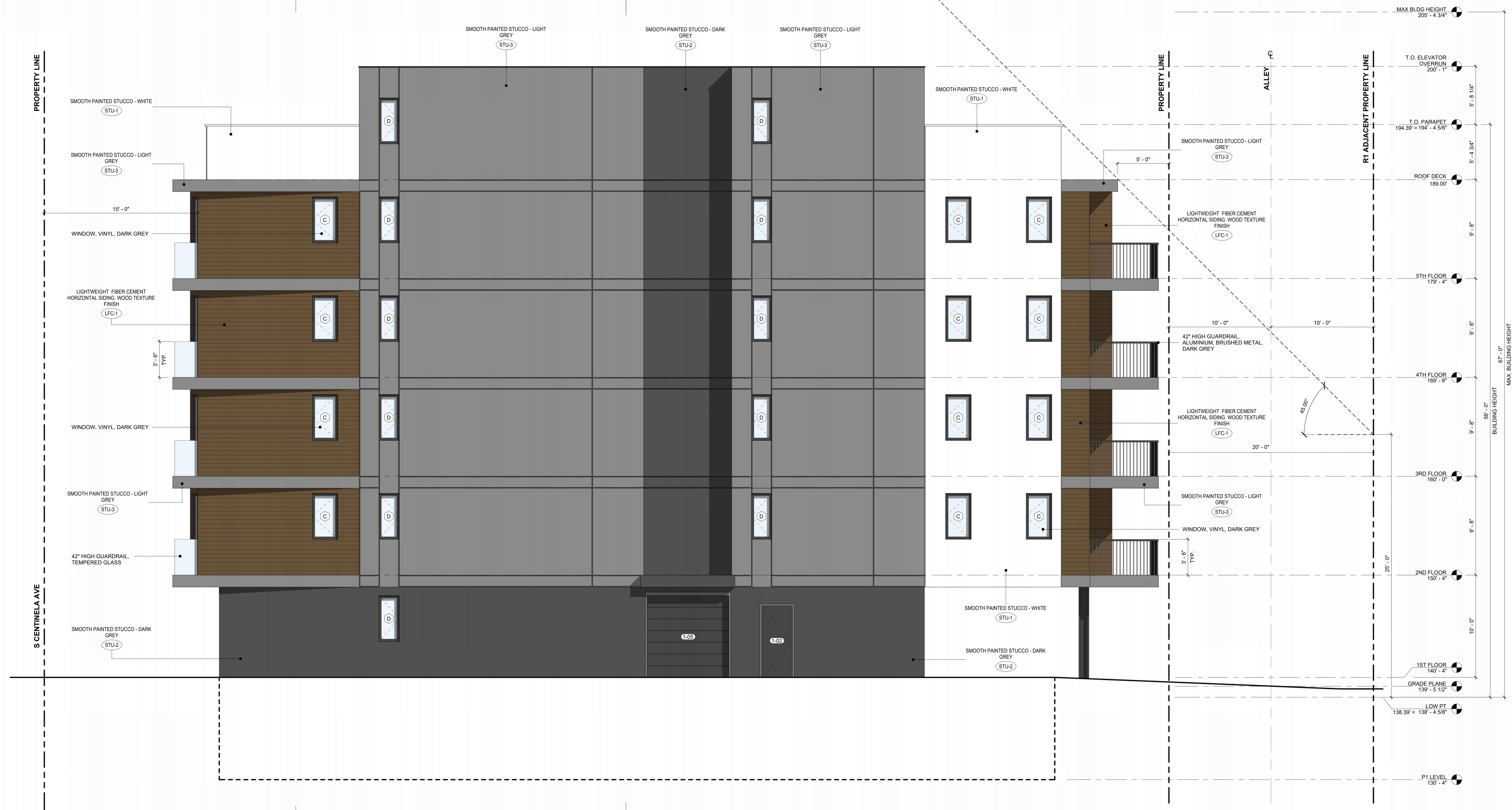
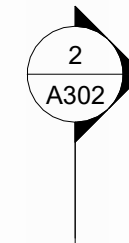
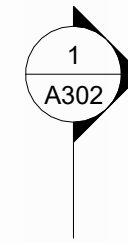


DRAWING TITLE
EXTERIOR ELEVATIONS - EAST, WEST

A200

2512 CENTINELA

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- NOTES:
1. WINDOWS/DOORS WILL BE RECESSED 2 INCHES FROM THE BUILDING FACADE
 2. VISIBLE EXTERIOR SURFACES SHALL BE OF HIGH-PERFORMANCE AND/OR NON-REFLECTIVE TINTED GLASS (WITHOUT MIRROR-LIKE TINTS OR FILMS)

ELEVATION FINISHES

TYPE	DESCRIPTION	REMARKS
LFC-1	LIGHTWEIGHT FIBER CEMENT HORIZONTAL SIDING - WOOD TEXTURE FINISH	
STU-1	SMOOTH PAINTED STUCCO - WHITE	
STU-2	SMOOTH PAINTED STUCCO - DARK GREY	
STU-3	SMOOTH PAINTED STUCCO - LIGHT GREY	

1 NORTH EXTERIOR ELEVATION
1/4" = 1'-0"

LADBS STAMP

ARCHITECT:
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STRUCTURAL:

CIVIL:

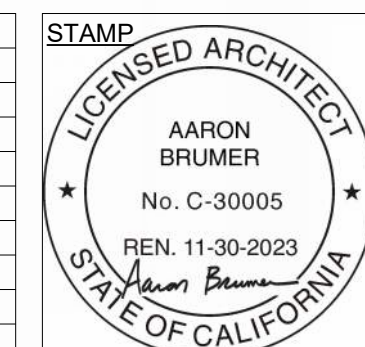
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ISSUE	DATE	DESCRIPTION



DRAWING TITLE
EXTERIOR ELEVATIONS - NORTH

A201

2512 CENTINELA

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NOTES:
 1. WINDOWS/DOORS WILL BE RECESSED 2 INCHES FROM THE BUILDING FACADE
 2. VISIBLE EXTERIOR SURFACES SHALL BE OF HIGH-PERFORMANCE AND/OR NON-REFLECTIVE TINTED GLASS (WITHOUT MIRROR-LIKE TINTS OR FILMS)

ELEVATION FINISHES		
TYPE	DESCRIPTION	REMARKS
LFC-1	LIGHTWEIGHT FIBER CEMENT HORIZONTAL SIDING, WOOD TEXTURE FINISH	
STU-1	SMOOTH PAINTED STUCCO - WHITE	
STU-2	SMOOTH PAINTED STUCCO - DARK GREY	
STU-3	SMOOTH PAINTED STUCCO - LIGHT GREY	

1 SOUTH EXTERIOR ELEVATION
 1/4" = 1'-0"

LADBS STAMP

ARCHITECT:
 Aaron Brumer & Assoc. Architects
 10999 Riverside Drive, Suite 302
 North Hollywood, CA 91602
 (310) 422-9234

STRUCTURAL:

CIVIL:

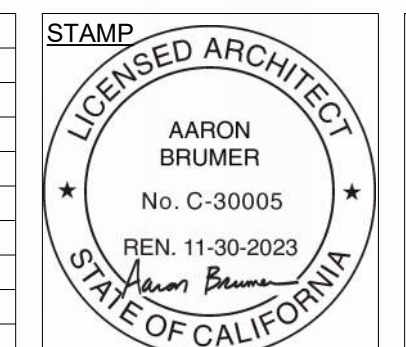
LANDSCAPE:
 Savage Land Design
 680 Langsdorf Drive, Suite 202B
 Fullerton, CA 92831
 714-878-0335

OWNER:

PROJECT:
 14 UNIT MULTIFAMILY BUILDING
 2512 CENTINELA AVE
 LOS ANGELES, CA 90064

ISSUE	DATE	DESCRIPTION
1	05/26/2023	PZA SUBMITTAL #1
2	08/11/2023	PZA SUBMITTAL #2
3	08/22/2023	PZA SUBMITTAL #3
4	08/30/2023	PZA SUBMITTAL #4
5	09/21/2023	CITY PLANNING SUBMITTAL #1

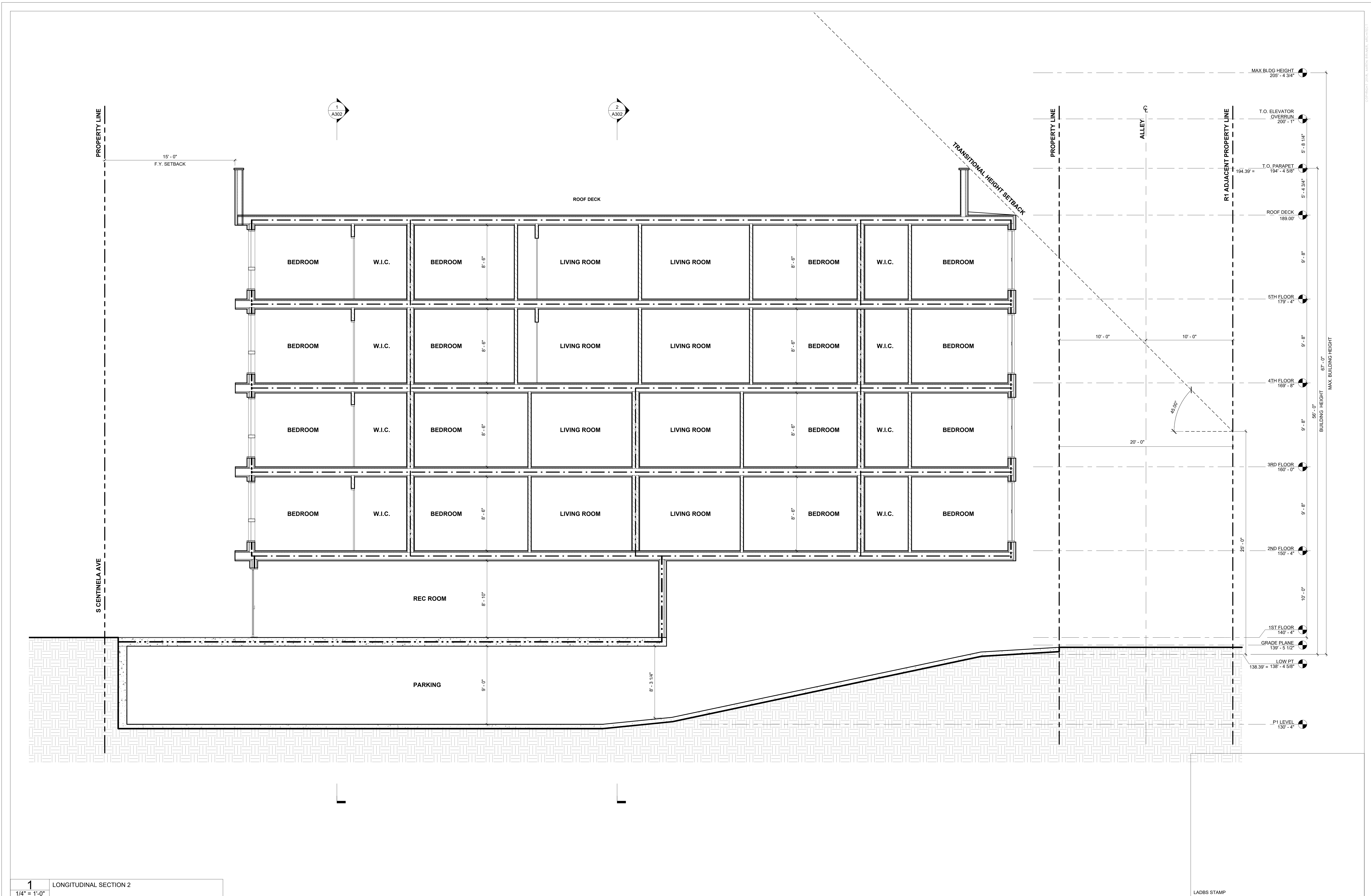
ISSUE	DATE	DESCRIPTION



DRAWING TITLE
 EXTERIOR ELEVATIONS - SOUTH

A202

2512 CENTINELA



1 LONGITUDINAL SECTION 2
1/4" = 1'-0"

LADBS STAMP

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 302
North Hollywood, CA 91602
(310) 422-9234

STRUCTURAL:

CIVIL:

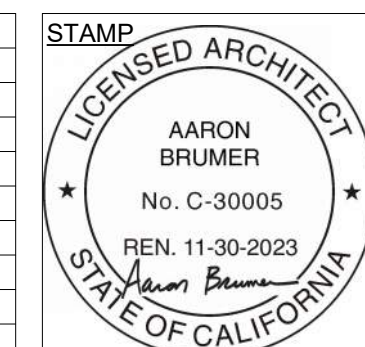
LANDSCAPE:
Savage Land Design
680 Langsdorf Drive, Suite 202B
Fullerton, CA 92831
714-878-0335

OWNER:

PROJECT:
14 UNIT MULTIFAMILY BUILDING
2512 CENTINELA AVE
LOS ANGELES, CA 90064

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3	08/22/2023	PZA SUBMITTAL #3
4	08/30/2023	PZA SUBMITTAL #4
5	09/21/2023	CITY PLANNING SUBMITTAL #1

ISSUE	DATE	DESCRIPTION



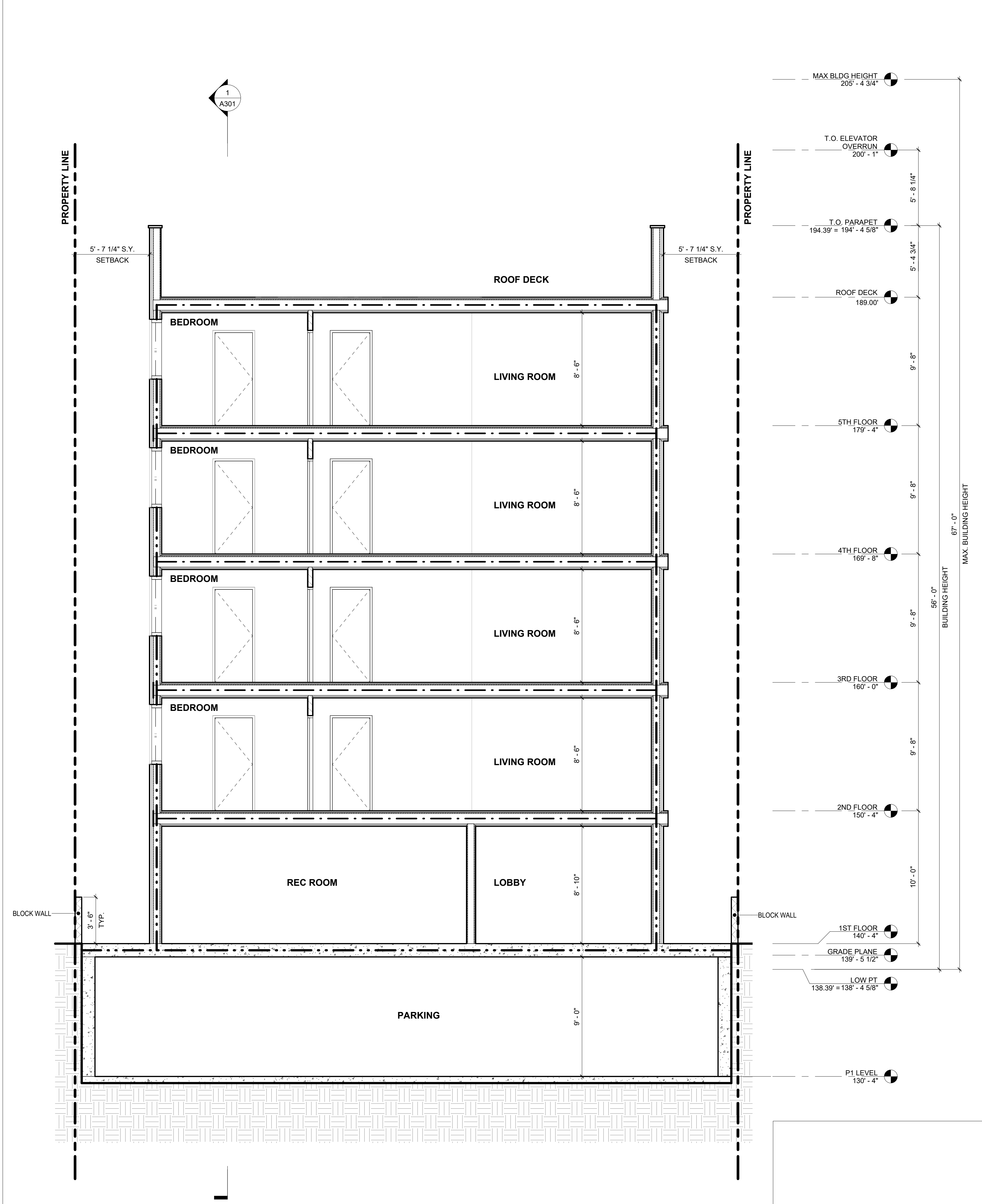
DRAWING TITLE
BUILDING SECTIONS

A301

2512 CENTINELA



2 CROSS SECTION 4
1/4" = 1'-0"



1 CROSS SECTION 3
1/4" = 1'-0"

LADBS STAMP

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 302
North Hollywood, CA 91602
(310) 422-9234

STRUCTURAL:

CIVIL:

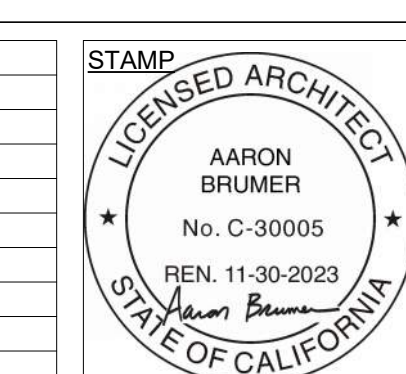
LANDSCAPE:
Savage Land Design
680 Langsdorf Drive, Suite 202B
Fullerton, CA 92831
714-878-0335

OWNER:

PROJECT:
14 UNIT MULTIFAMILY BUILDING
2512 CENTINELA AVE
LOS ANGELES, CA 90064

ISSUE	DATE	DESCRIPTION
1	05/26/2023	PZA SUBMITTAL #1
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3	08/22/2023	PZA SUBMITTAL #3
4	08/30/2023	PZA SUBMITTAL #4
5	09/21/2023	CITY PLANNING SUBMITTAL #1

ISSUE	DATE	DESCRIPTION



DRAWING TITLE
BUILDING SECTIONS

A302

2512 CENTINELA



ARCHITECT:
 Aaron Brumer & Assoc. Architects
 10999 Riverside Drive, Suite 302
 North Hollywood, CA 91602
 (310) 422-9234

STRUCTURAL:

CIVIL:

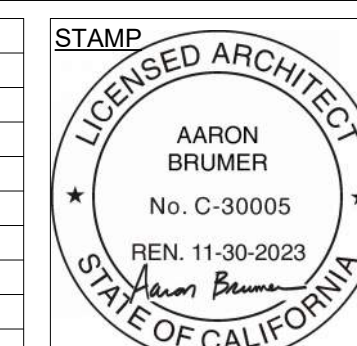
LANDSCAPE:
 Savage Land Design
 680 Langsdorf Drive, Suite 202B
 Fullerton, CA 92831
 714-878-0335

OWNER:

PROJECT:
 14 UNIT MULTIFAMILY
 BUILDING
 2512 CENTINELA AVE
 LOS ANGELES, CA 90064

ISSUE	DATE	DESCRIPTION
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3	08/22/2023	PZA SUBMITTAL #3
4	08/30/2023	PZA SUBMITTAL #4
5	09/21/2023	CITY PLANNING SUBMITTAL #1

ISSUE	DATE	DESCRIPTION



DRAWING TITLE
 VISUALIZATION

R100

2512 CENTINELA



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STRUCTURAL:

CIVIL:

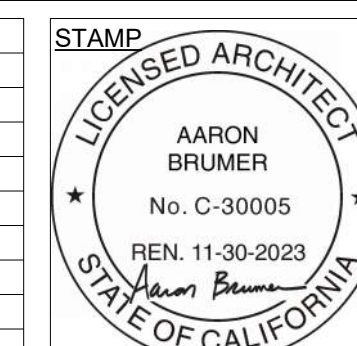
LANDSCAPE:
 Savage Land Design
 680 Langsdorf Drive, Suite 202B
 Fullerton, CA 92831
 714-878-0335

OWNER:

PROJECT:
 14 UNIT MULTIFAMILY
 BUILDING
 2512 CENTINELA AVE
 LOS ANGELES, CA 90064

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5	09/21/2023	CITY PLANNING SUBMITTAL #1

ISSUE	DATE	DESCRIPTION



DRAWING TITLE
 VISUALIZATION

R101

2512 CENTINELA

14 UNIT MULTIFAMILY BLDG

2512 CENTINELA AVE LOS ANGELES, CA 90064

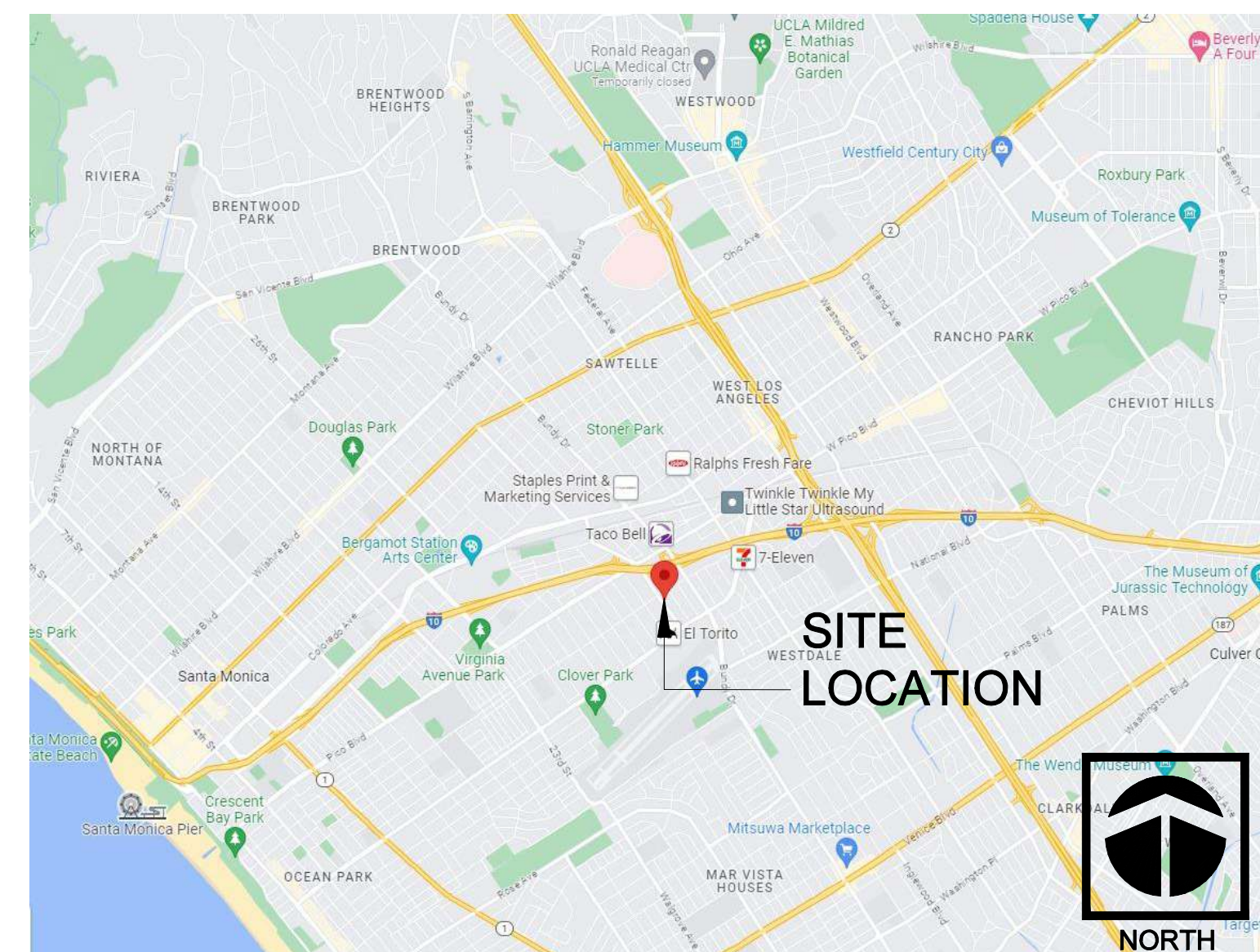
LANDSCAPE ARCHITECT

SAVAGE LAND DESIGN
680 LANGSDORF DRIVE, SUITE 202B
FULLERTON, CA 92831

CONTACT: MICHAEL SAVAGE, RLA #4397

714-878-0335
MICHAEL@SAVAGELANDDESIGN.COM

VICINITY MAP



SHEET INDEX

CS-0	COVERSHEET	1 OF 10
LC-1	CONSTRUCTION LAYOUT PLAN	2 OF 10
LC-2	CONSTRUCTION DETAILS	3 OF 10
LI-1	IRRIGATION NOTES AND CALCULATIONS	4 OF 10
LI-2	IRRIGATION HYDROZONES	5 OF 10
LI-3	IRRIGATION LAYOUT PLAN	6 OF 10
LI-4	IRRIGATION DETAILS	7 OF 10
LI-5	IRRIGATION DETAILS	8 OF 10
LP-1	PLANTING LAYOUT PLAN	9 OF 10
LP-2	PLANTING DETAILS	10 OF 10

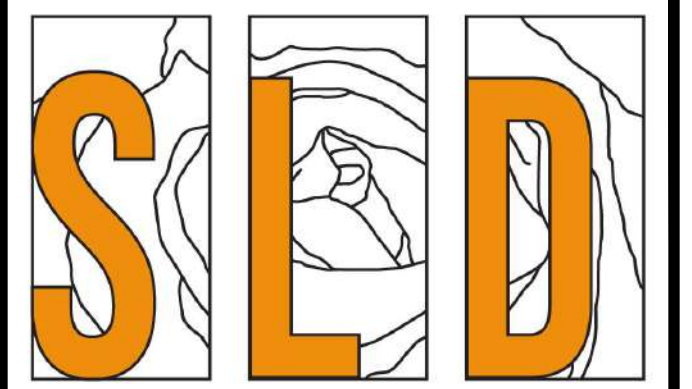
GENERAL NOTES

- ALL PROPERTY LINES AND LOT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK.
- ALL DIMENSIONS SHALL BE VERIFIED AGAINST EXISTING CONDITIONS AND ALL DISCREPANCIES REPORTED TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AND/OR GRADE DIFFERENCES WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IN WRITING. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5 FEET AND FOR SHORING AND UNDERPINNING.
- A LICENSED SURVEYOR SHALL PROVIDE MONITORING OF SHORING AND IMPROVEMENTS ON ADJACENT PROPERTIES AND SUBMIT RESULTS WITH A REPORT TO THE SHORING DESIGN ENGINEER AND TO THE BUILDING INSPECTOR ON A DAILY BASIS DURING EXCAVATION AND SHORING AND ON A WEEKLY BASIS THEREAFTER. WHERE DEWATERING IS REQUIRED, MONITORING SHALL CONTINUE UNTIL DEWATERING IS STOPPED.
- IN LIEU OF SPECIAL INSPECTION BY THE DEPUTY BUILDING INSPECTOR, THE GEOTECHNICAL ENGINEER SHALL PROVIDE CONTINUOUS INSPECTIONS DURING SHORING AND EXCAVATION OPERATIONS AND DURING REMOVAL OF SHORING.
- THE CONTRACTOR SHALL NOTIFY ADJACENT PROPERTY OWNERS BY CERTIFIED MAIL 0 DAYS PRIOR TO STARTING THE SHORING AND EXCAVATION WORK

LANDSCAPE POINT SYSTEM	
SQUARE FOOTAGE OF SITE	5486.7 SF
POINTS REQUIRED	10 POINTS
FEATURES/TECHNIQUES	
USE CLASS I OR CLASS II COMPOST PRODUCED USING CITY ORGANIC MATERIALS (TOPGRO) IN A MAJORITY OF LANDSCAPE AREAS	5
MAIN FINISH ELEVATION OF STRUCTURE, AT AN ELEVATION OR ABOVE OR BELOW THE FINISH ELEVATION OF THE SIDEWALK, SUCH THAT A STRAIGHT LINE PERPENDICULAR TO A STRAIGHT STREET OR RADially TO A CURVED STREET, LEADING DIRECTLY TO THE MAIN PEDESTRIAN ENTRANCE OF THE STRUCTURE, IS HANDICAP ACCESSIBLE.	5
TOTAL POINTS PROVIDED	10
WATER MANAGEMENT POINT SYSTEM	
SQUARE FOOTAGE OF SITE	5486.7 SF
POINTS REQUIRED	100 POINTS
POINTS PROVIDED	
DRIP IRRIGATION WITH FLOW CONTROL (2)	10
AUTOMATIC IRRIGATION CONTROLLER	5
PLANTS:	
43 SENECIO SERPENS	106
19 DIETES BICOLOR	38
6 SALVIA GREGGII	12
TOTAL POINTS PROVIDED	171
SITE AREA:	5486.7 SF
BUILDING FOOTPRINT:	2180.3 SQ FT
POTENTIAL LANDSCAPE AREA:	3306.4 SQ FT
LANDSCAPE PROVIDED:	821.8 SQ FT

TOTAL LANDSCAPE AREA = 821.8 SF

TOTAL COMMON OPEN SPACE AREA = 1347.26 SF
TOTAL COMMON OPEN SPACE LANDSCAPE AREA
REQUIRED (25%) = 336.8 SF
TOTAL COMMON OPEN SPACE LANDSCAPE AREA
PROVIDED = 351.3 SF



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680 Langsdorf Drive, Suite 202B, Fullerton, CA 92831
PHONE: 714-878-0335
EMAIL: michael@savagelanddesign.com

14 UNIT MULTIFAMILY BLDG

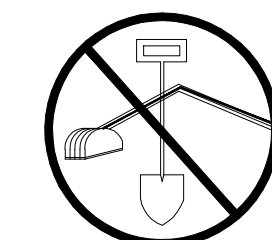
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LOS ANGELES, CA 90064

No.	Revision / Issue	Date



COVERSHEET

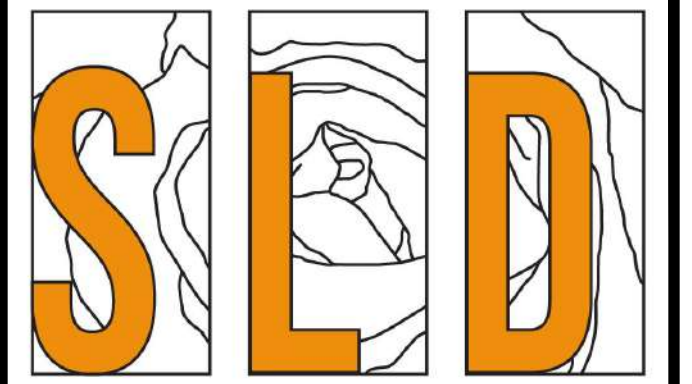
Date	09-20-23	Sheet	CS-0
Scale			
Sheet	1 of 10		



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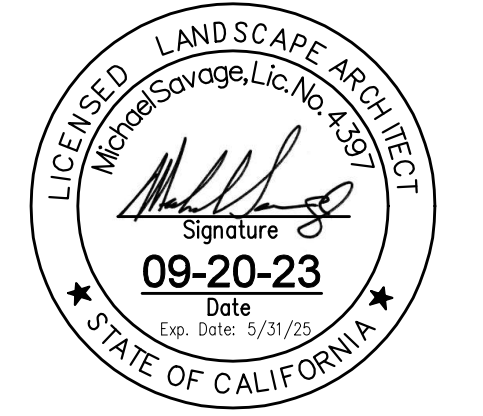
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PHONE: 714-878-0335
EMAIL: michael@savagelanddesign.com

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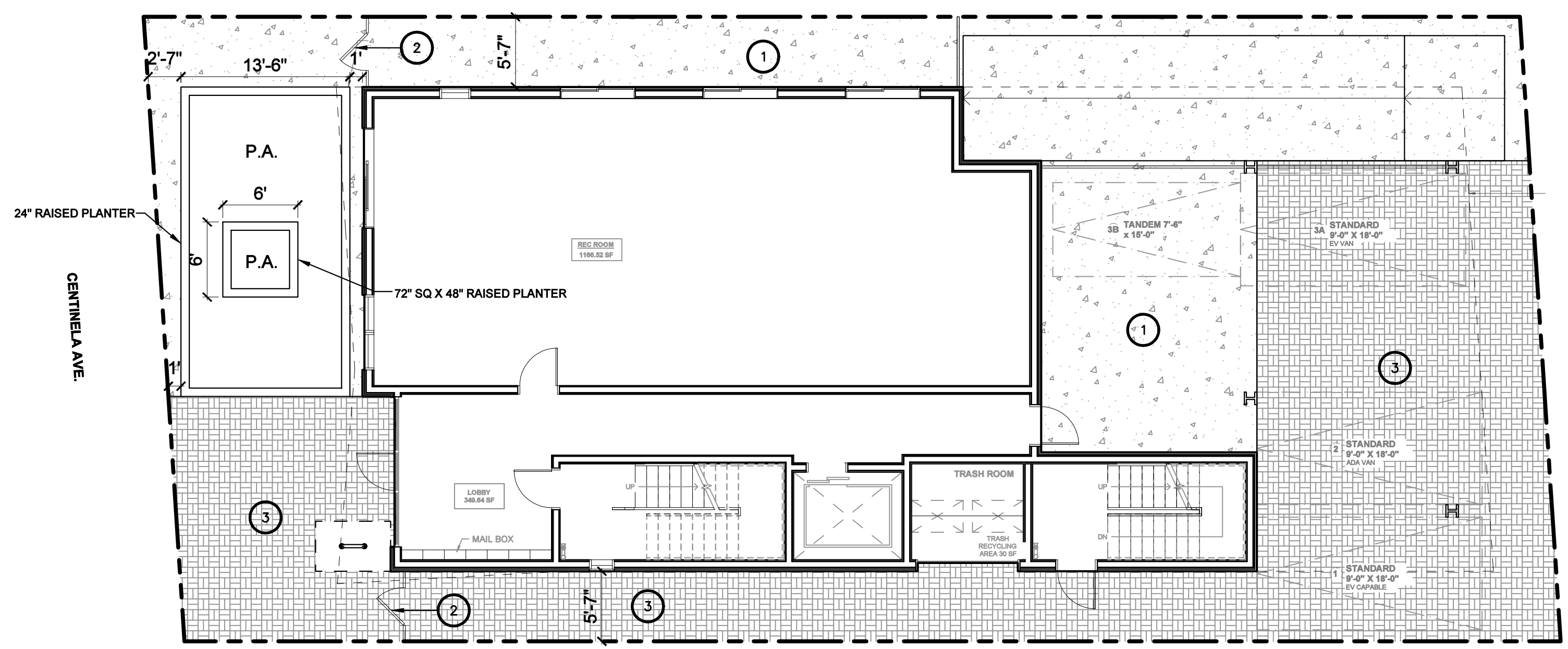
2512 CENTINELA AVE
LOS ANGELES, CA 90064

No.	Revision / Issue	Date



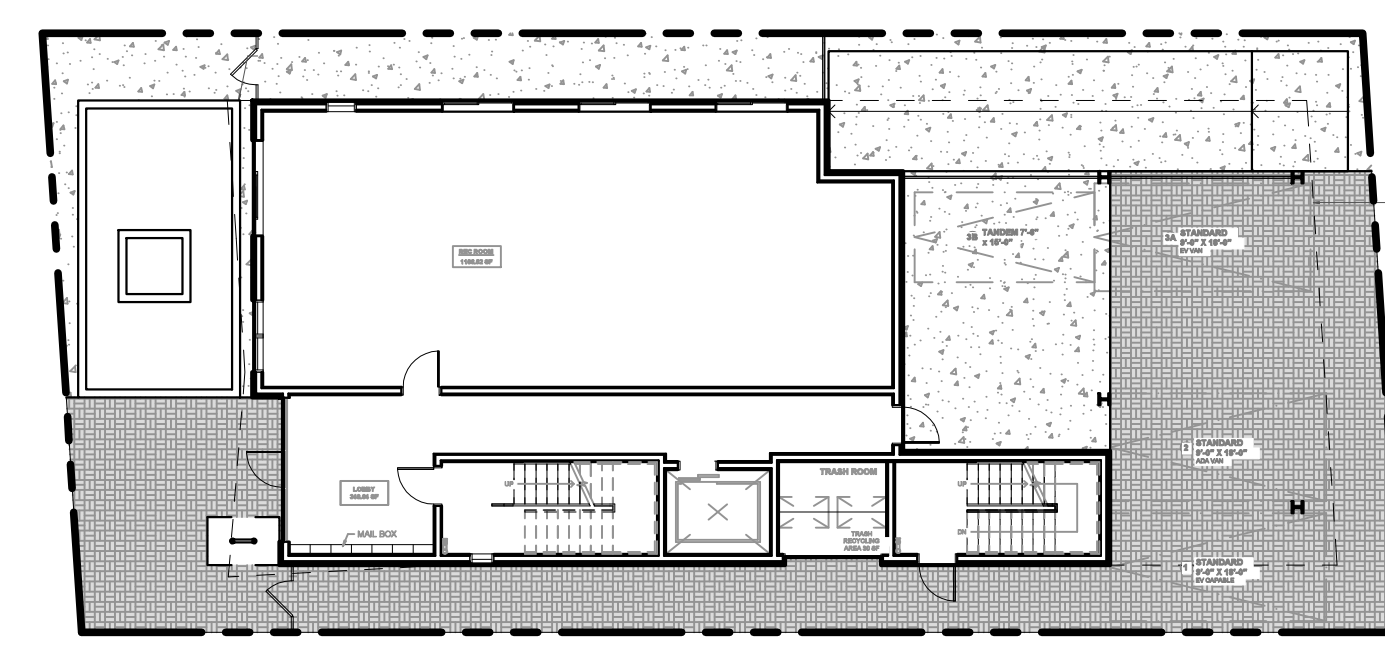
CONSTRUCTION LAYOUT PLAN

Date	09-20-23	Sheet	LC-1
Scale	1/8"=1'-0"		
Sheet	2 of 10		



GROUND FLOOR PLAN

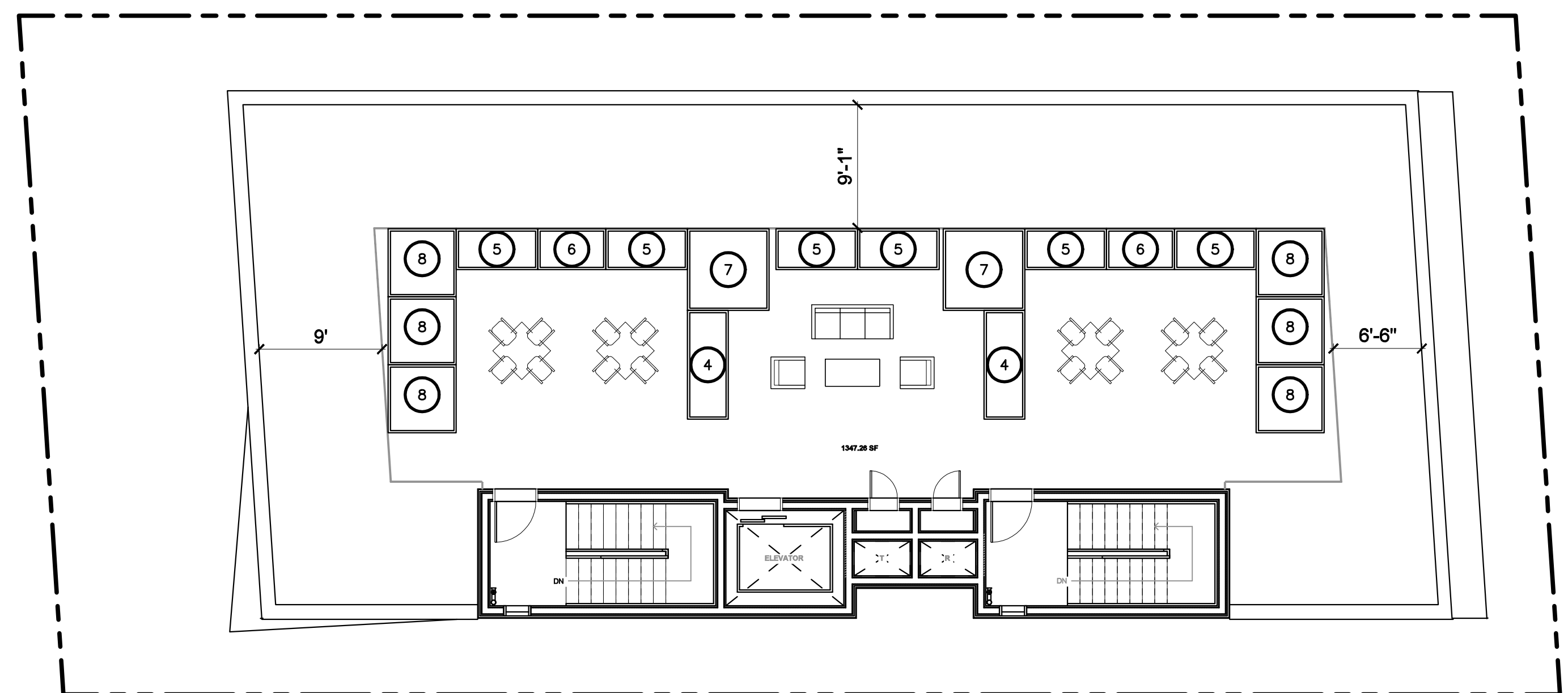
CONSTRUCTION LEGEND		
ITEM NO.	DESCRIPTION	SHT. / DET.
1	CONCRETE PAVING TO BE NATURAL GRAY WITH TOPCAST 03 FINISH AND TOOLED JOINTS	LC-2 / A, B, C
2	TUBULAR STEEL GATE AND FENCE	LC-2 / E
3	PRECAST CONCRETE PAVERS - ANTIQUE KOBBLE, COLOR TO BE DESERT BLEND AVAILABLE THROUGH ACKERSTONE	LC-2 / D
4	PREFABRICATED RECTANGULAR PLANTER - 96"L X 36"W X 30"H	LC-2 / F
5	PREFABRICATED RECTANGULAR PLANTER - 72"L X 36"W X 30"H	LC-2 / F
6	PREFABRICATED RECTANGULAR PLANTER - 60"L X 36"W X 30"H	LC-2 / F
7	PREFABRICATED SQUARE PLANTER - 72"SQ X 42"H	LC-2 / F
8	PREFABRICATED SQUARE PLANTER - 60"SQ X 42"H	LC-2 / F



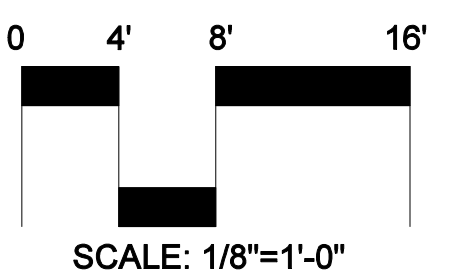
GROUND FLOOR PLAN 1/16" = 1' - 0"

PERMEABLE PAVING CALCULATIONS
MIN 50% OF HARDSCAPE AREAS INCLUDE PERMEABLE PAVING

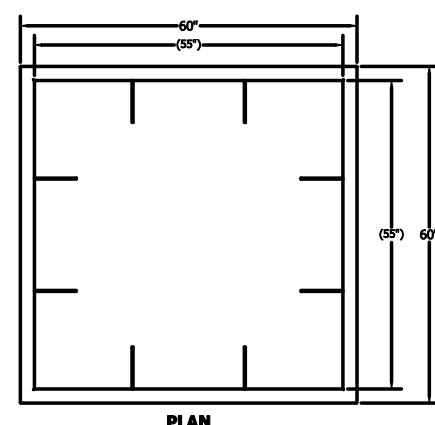
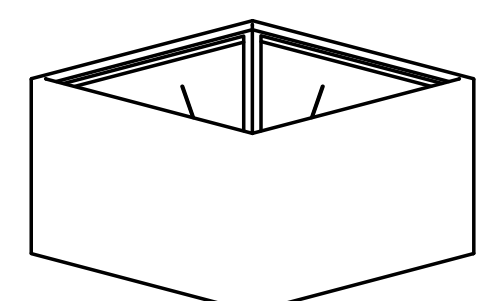
HARDSCAPE AREA: 2,972.65 SF
50% REQUIRED: 1,486.3 SF
PERMEABLE PAVING PROVIDED: 1



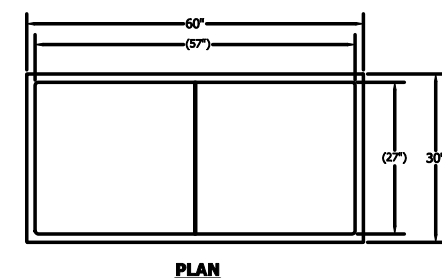
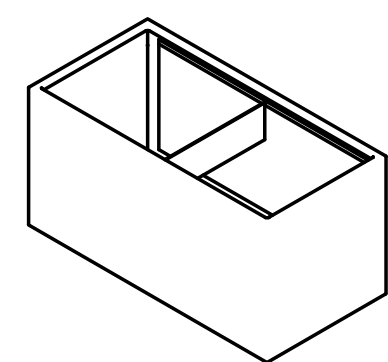
ROOF PLAN



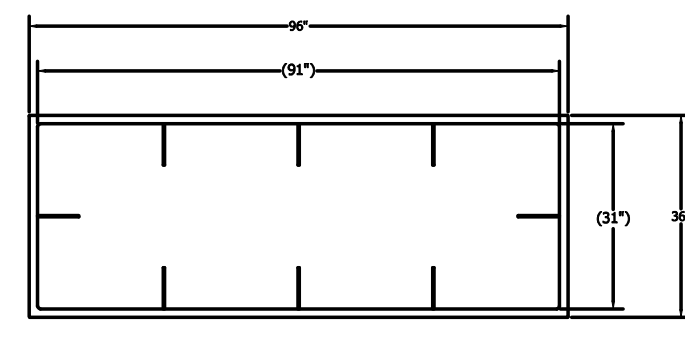
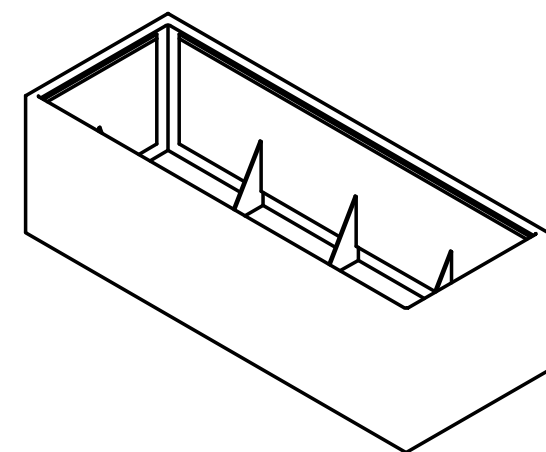
SCALE: 1/8"=1'-0"



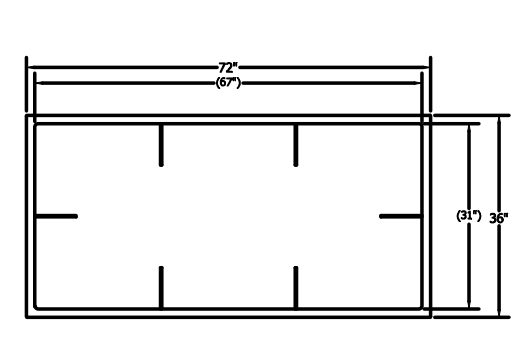
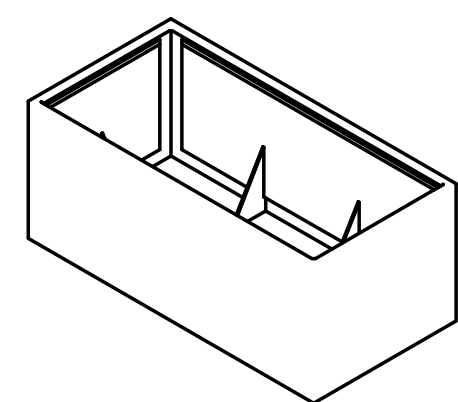
WILSHIRE WR-6000F



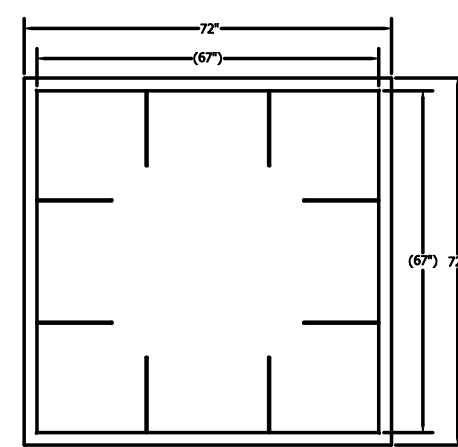
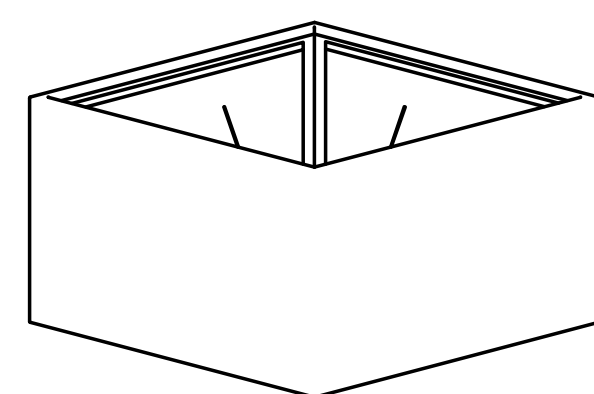
WILSHIRE WR-603630



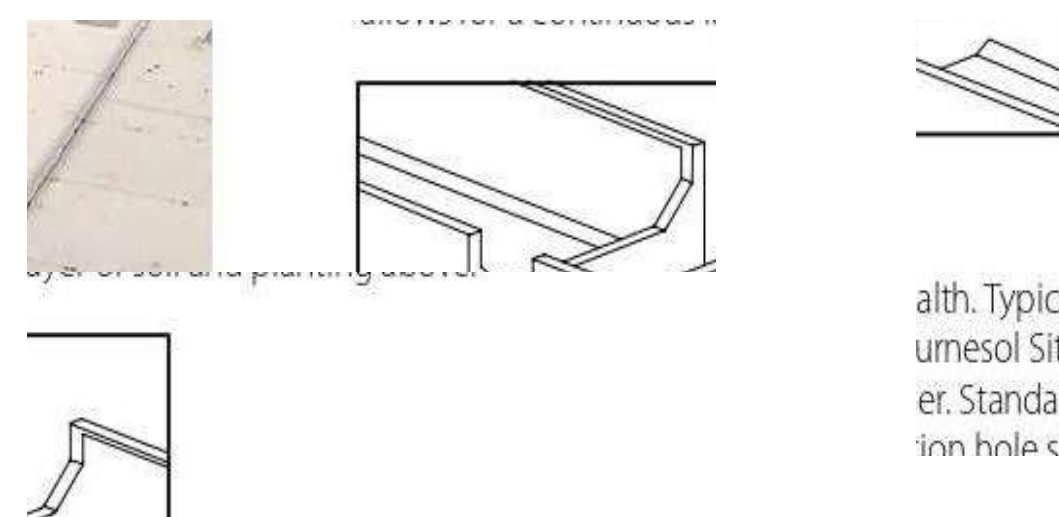
WILSHIRE WR-963630



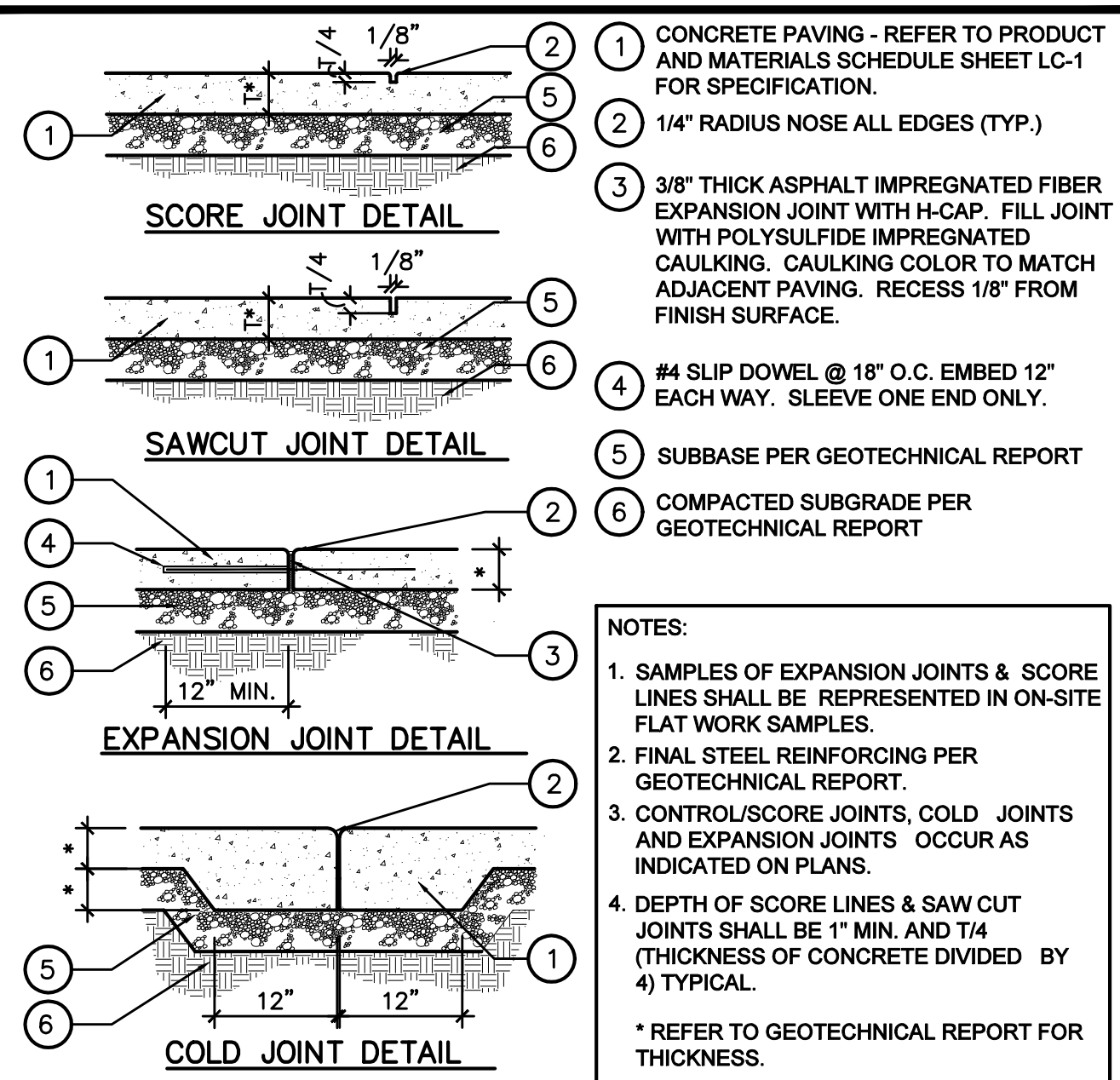
WILSHIRE WR-723630



WILSHIRE WR-7200F



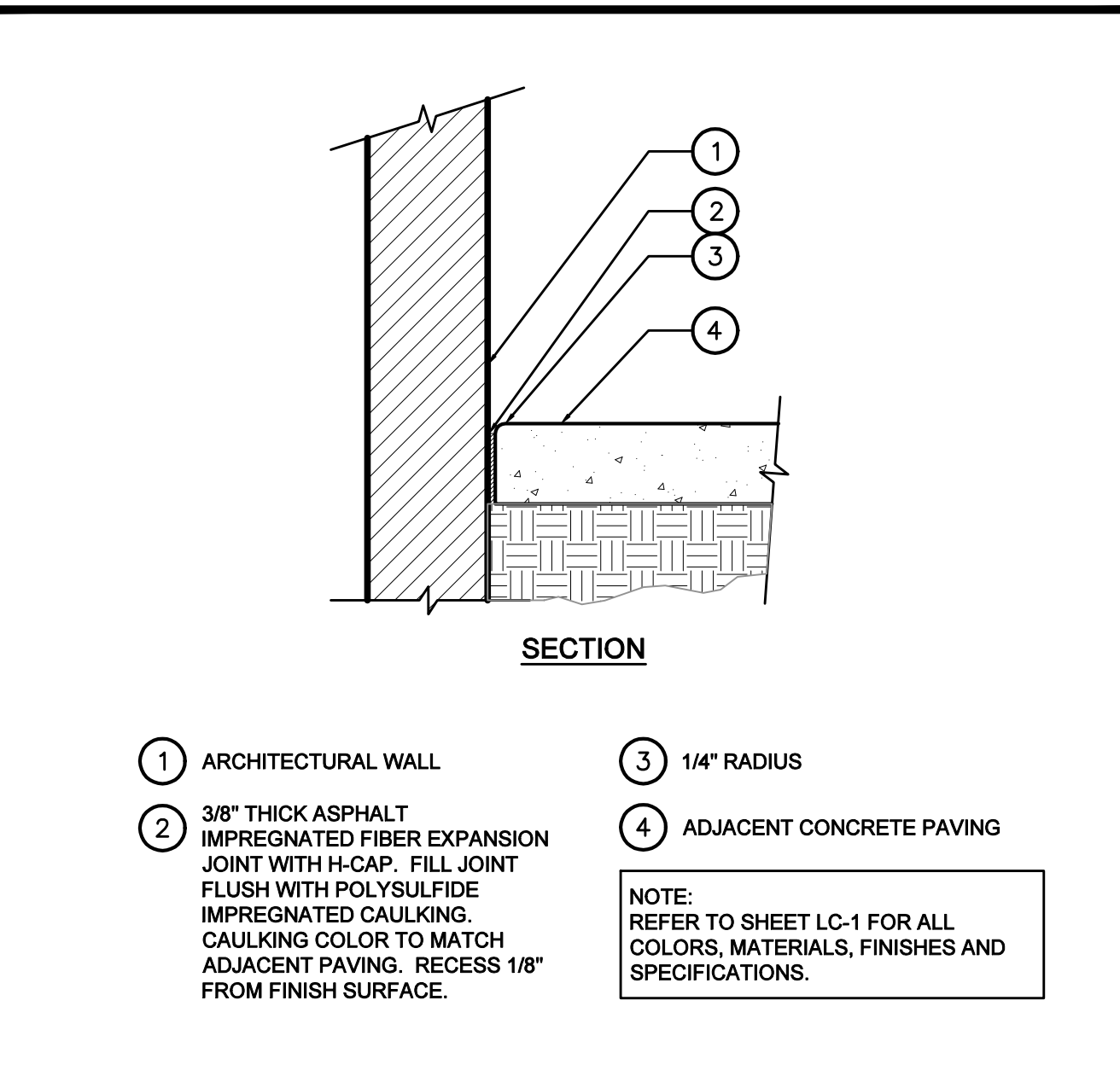
alth. Typically, our FRP pots are delivered umesol Siteworks is pleased to pre-drill drain er. Standard drain holes are 1-5/8" diameter. inn hole size or quantities, please speak with



- 1 CONCRETE PAVING - REFER TO PRODUCT AND MATERIALS SCHEDULE SHEET LC-1 FOR SPECIFICATION.
 - 2 1/4" RADIUS NOSE ALL EDGES (TYP.)
 - 3 3/8" THICK ASPHALT IMPREGNATED FIBER EXPANSION JOINT WITH H-CAP. FILL JOINT WITH POLYSULFIDE IMPREGNATED CAULKING. CAULKING COLOR TO MATCH ADJACENT PAVING. RECESS 1/8" FROM FINISH SURFACE.
 - 4 #4 SLIP DOWEL @ 18" O.C. EMBED 12" EACH WAY. SLEEVE ONE END ONLY.
 - 5 SUBBASE PER GEOTECHNICAL REPORT
 - 6 COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
- NOTES:
- 1. SAMPLES OF EXPANSION JOINTS & SCORE LINES SHALL BE REPRESENTED IN ON-SITE FLAT WORK SAMPLES.
 - 2. FINAL STEEL REINFORCING PER GEOTECHNICAL REPORT.
 - 3. CONTROL/SCORE JOINTS, COLD JOINTS AND EXPANSION JOINTS OCCUR AS INDICATED ON PLANS.
 - 4. DEPTH OF SCORE LINES & SAW CUT JOINTS SHALL BE 1" MIN. AND 1/4 (THICKNESS OF CONCRETE DIVIDED BY 4) TYPICAL.
- * REFER TO GEOTECHNICAL REPORT FOR THICKNESS.

PAVING JOINTS

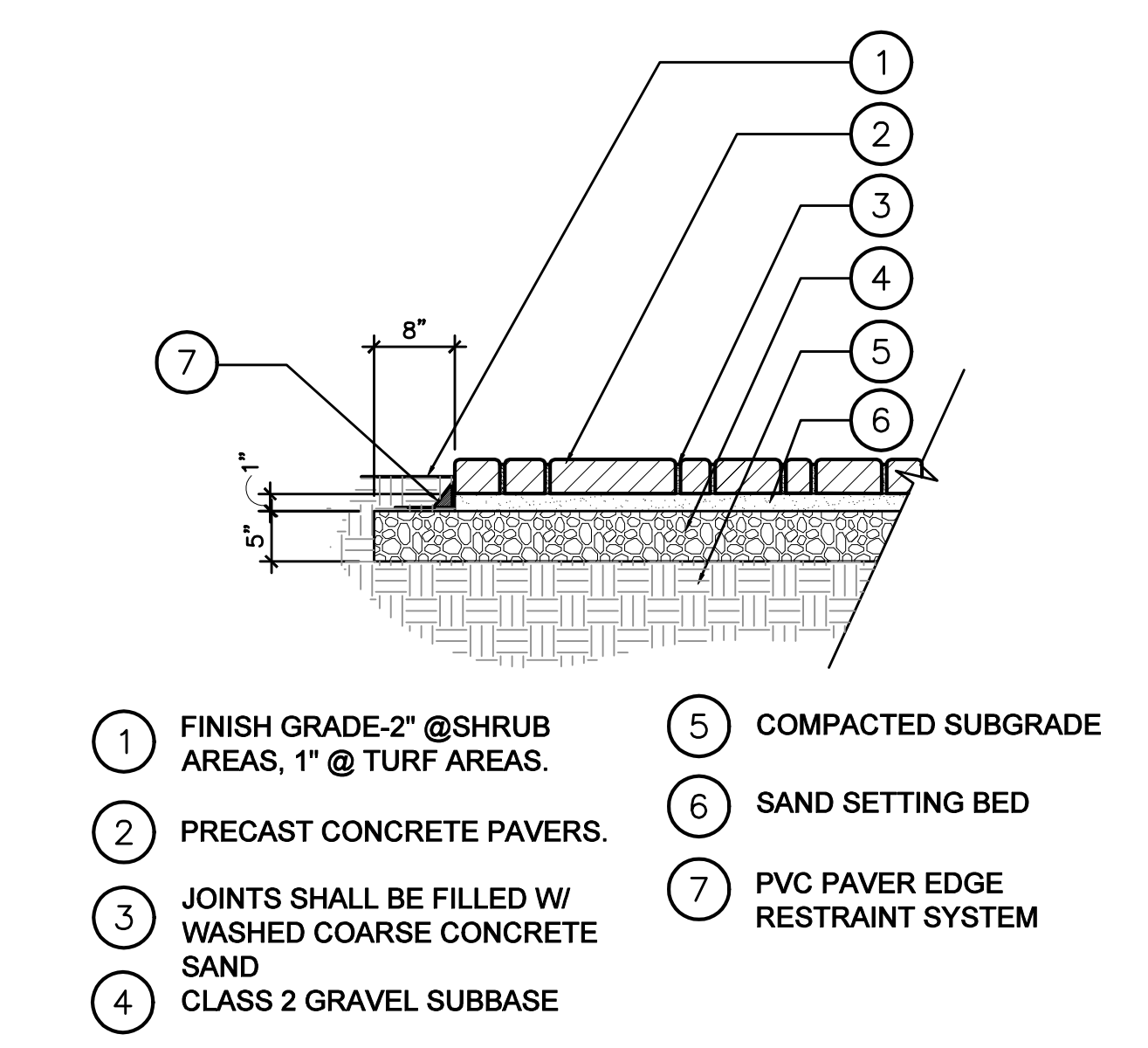
C



- 1 ARCHITECTURAL WALL
 - 2 3/8" THICK ASPHALT IMPREGNATED FIBER EXPANSION JOINT WITH H-CAP. FILL JOINT FLUSH WITH POLYSULFIDE IMPREGNATED CAULKING. CAULKING COLOR TO MATCH ADJACENT PAVING. RECESS 1/8" FROM FINISH SURFACE.
 - 3 1/4" RADIUS
 - 4 ADJACENT CONCRETE PAVING
- NOTE: REFER TO SHEET LC-1 FOR ALL COLORS, MATERIALS, FINISHES AND SPECIFICATIONS.

PAVING JOINTS

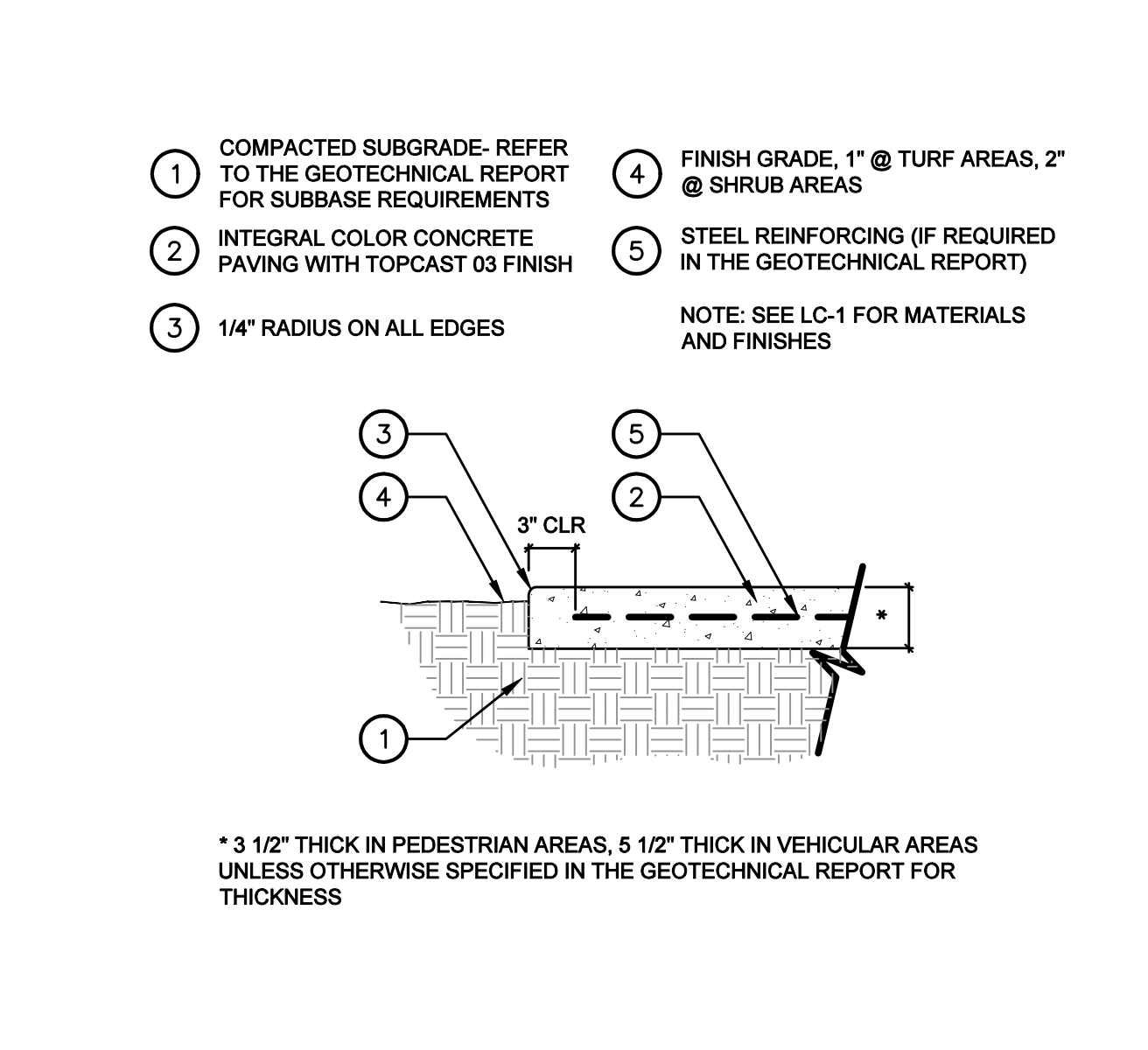
A



- 1 FINISH GRADE-2" @ SHRUB AREAS, 1" @ TURF AREAS.
- 2 PRECAST CONCRETE PAVERS.
- 3 JOINTS SHALL BE FILLED W/ WASHED COARSE CONCRETE SAND
- 4 CLASS 2 GRAVEL SUBBASE
- 5 COMPACTED SUBGRADE
- 6 SAND SETTING BED
- 7 PVC PAVER EDGE RESTRAINT SYSTEM

PRECAST CONCRETE PAVERS

D



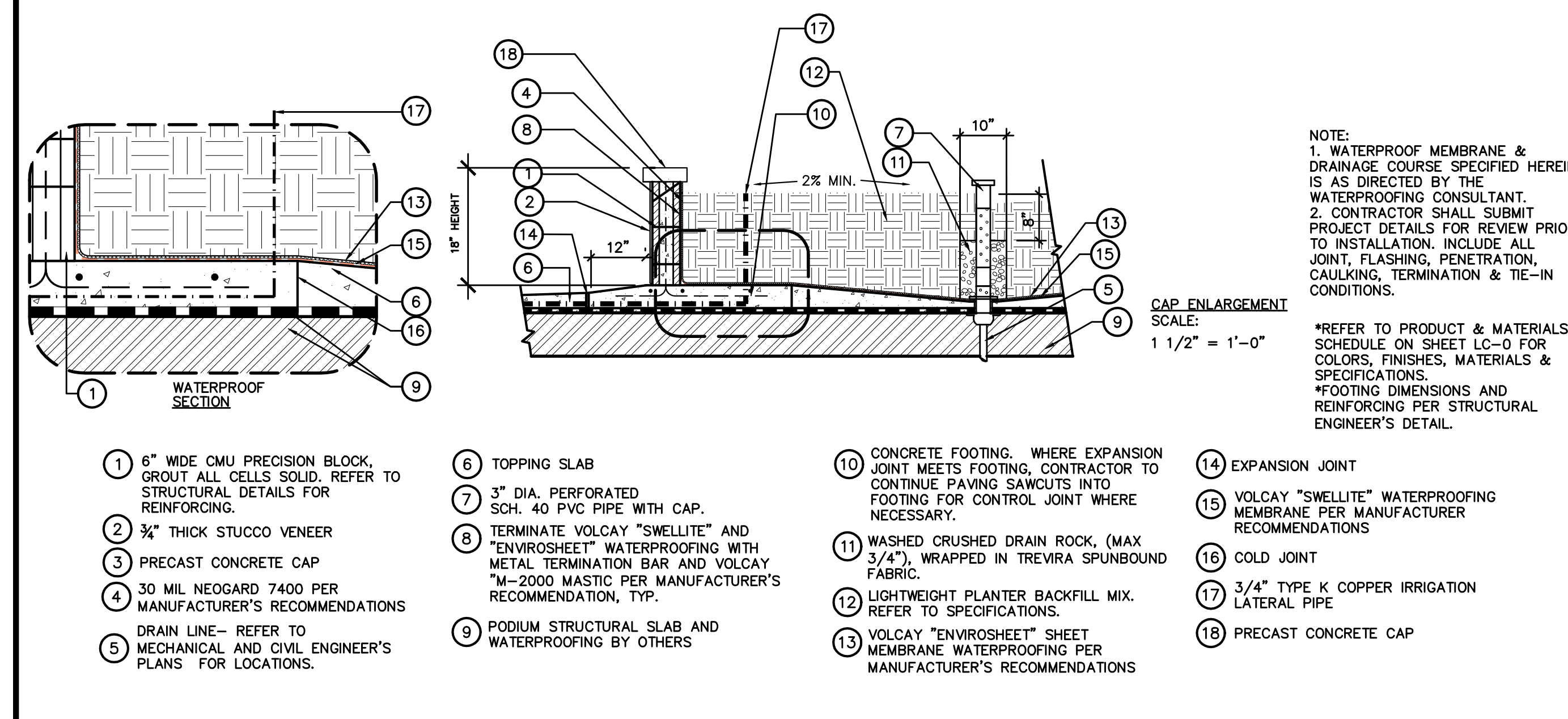
- 1 COMPACTED SUBGRADE-REFER TO THE GEOTECHNICAL REPORT FOR SUBBASE REQUIREMENTS
 - 2 INTEGRAL COLOR CONCRETE PAVING WITH TOPCAST 03 FINISH
 - 3 1/4" RADIUS ON ALL EDGES
 - 4 FINISH GRADE, 1" @ TURF AREAS, 2" @ SHRUB AREAS
 - 5 STEEL REINFORCING (IF REQUIRED IN THE GEOTECHNICAL REPORT)
- NOTE: SEE LC-1 FOR MATERIALS AND FINISHES
- * 3 1/2" THICK IN PEDESTRIAN AREAS, 5 1/2" THICK IN VEHICULAR AREAS UNLESS OTHERWISE SPECIFIED IN THE GEOTECHNICAL REPORT FOR THICKNESS

CONCRETE PAVING

B

TOURNESOL SITEWORKS

F



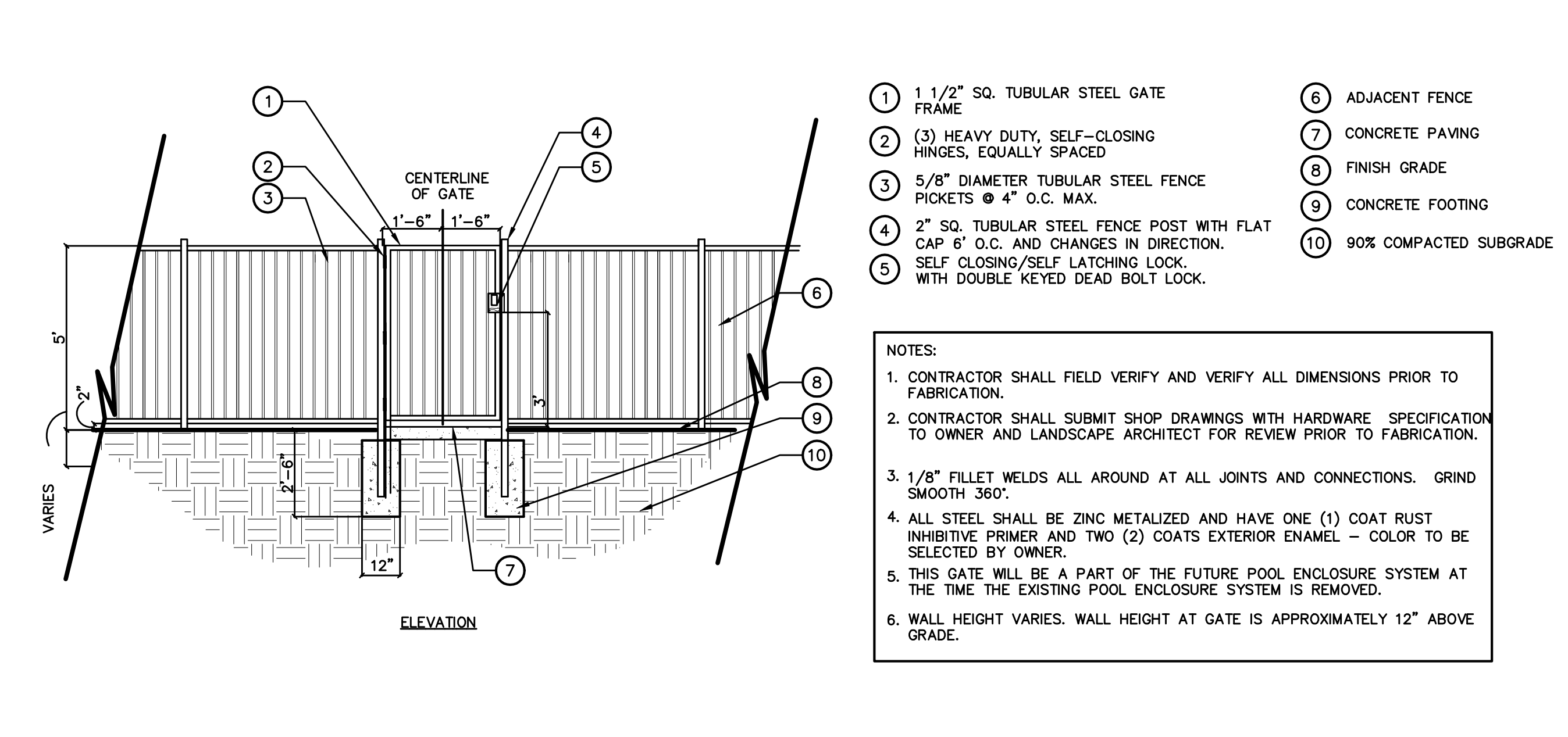
- 1 6" WIDE CMU PRECISION BLOCK. GROUT ALL CELLS SOLID. REFER TO STRUCTURAL DETAILS FOR REINFORCING.
 - 2 3/4" THICK STUCCO VENEER
 - 3 PRECAST CONCRETE CAP
 - 4 30 MIL NEOGARD 7400 PER MANUFACTURER'S RECOMMENDATIONS
 - 5 DRAIN LINE- REFER TO MECHANICAL AND CIVIL ENGINEER'S PLANS FOR LOCATIONS.
 - 6 TOPPING SLAB
 - 7 3" DIA. PERFORATED SCH. 40 PVC PIPE WITH CAP.
 - 8 TERMINATE VOLCAY "SWELLITE" AND "ENVROSHEET" WATERPROOFING WITH METAL TERMINATION BAR AND VOLCAY. "M"-2000 MASTIC PER MANUFACTURER'S RECOMMENDATION, TYP.
 - 9 PODIUM STRUCTURAL SLAB AND WATERPROOFING BY OTHERS
 - 10 CONCRETE FOOTING. WHERE EXPANSION JOINT MEETS FOOTING, CONTRACTOR TO CONTINUE PAVING SAWCUTS INTO FOOTING FOR CONTROL JOINT WHERE NECESSARY.
 - 11 WASHED CRUSHED DRAIN ROCK. (MAX 3/4"), WRAPPED IN TREVIRA SPUNBOND FABRIC.
 - 12 LIGHTWEIGHT PLANTER BACKFILL MIX. REFER TO SPECIFICATIONS.
 - 13 VOLCAY "ENVROSHEET" SHEET MEMBRANE WATERPROOFING PER MANUFACTURER'S RECOMMENDATIONS
 - 14 EXPANSION JOINT
 - 15 VOLCAY "SWELLITE" WATERPROOFING MEMBRANE PER MANUFACTURER RECOMMENDATIONS
 - 16 COLD JOINT
 - 17 3/4" TYPE K COPPER IRRIGATION LATERAL PIPE
 - 18 PRECAST CONCRETE CAP
- NOTE:
- 1. WATERPROOF MEMBRANE & DRAINAGE COURSE SPECIFIED HEREIN IS AS DIRECTED BY THE WATERPROOFING CONSULTANT.
 - 2. CONTRACTOR SHALL SUBMIT PROJECT DETAILS FOR REVIEW PRIOR TO INSTALLATION. INCLUDE ALL JOINT, FLASHING, PENETRATION, CAULKING, TERMINATION & TIE-IN CONDITIONS.
- *REFER TO PRODUCT & MATERIALS SCHEDULE ON SHEET LC-0 FOR COLORS, FINISHES, MATERIALS & SPECIFICATIONS.
- *FOOTING DIMENSIONS AND REINFORCING PER STRUCTURAL ENGINEER'S DETAIL.
- CAP ENLARGEMENT SCALE: 1 1/2" = 1'-0"

CMU PLANTER

G

STEEL GATE AND FENCE

E



- 1 1 1/2" SQ. TUBULAR STEEL GATE FRAME
 - 2 (3) HEAVY DUTY, SELF-CLOSING HINGES, EQUALLY SPACED
 - 3 5/8" DIAMETER TUBULAR STEEL FENCE PICKETS @ 4" O.C. MAX.
 - 4 2" SQ. TUBULAR STEEL FENCE POST WITH FLAT CAP 6" O.C. AND CHANGES IN DIRECTION. SELF CLOSING/SELF LATCHING LOCK WITH DOUBLE KEYED DEAD BOLT LOCK.
 - 5 1 1/2" SQ. TUBULAR STEEL GATE FRAME
 - 6 ADJACENT FENCE
 - 7 CONCRETE PAVING
 - 8 FINISH GRADE
 - 9 CONCRETE FOOTING
 - 10 90% COMPACTED SUBGRADE
- NOTES:
- 1. CONTRACTOR SHALL FIELD VERIFY AND VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.
 - 2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS WITH HARDWARE SPECIFICATION TO OWNER AND LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
 - 3. 1/8" FILLET WELDS ALL AROUND AT ALL JOINTS AND CONNECTIONS. GRIND SMOOTH 360°.
 - 4. ALL STEEL SHALL BE ZINC METALIZED AND HAVE ONE (1) COAT RUST INHIBITIVE PRIMER AND TWO (2) COATS EXTERIOR ENAMEL - COLOR TO BE SELECTED BY OWNER.
 - 5. THIS GATE WILL BE A PART OF THE FUTURE POOL ENCLOSURE SYSTEM AT THE TIME THE EXISTING POOL ENCLOSURE SYSTEM IS REMOVED.
 - 6. WALL HEIGHT VARIES. WALL HEIGHT AT GATE IS APPROXIMATELY 12" ABOVE GRADE.

STEEL GATE AND FENCE

E

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14 UNIT MULTIFAMILY BLDG
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 LOS ANGELES, CA 90064

No.	Revision / Issue	Date

CONSTRUCTION DETAILS

Date	09-20-23	Sheet	LC-2
Scale			
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GENERAL IRRIGATION NOTES

1. ALL CITY AND STATE LAWS, RULES AND REGULATION GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.

2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK AT NO EXPENSE TO THE OWNER. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERAL LINES THROUGH WALLS, UNDER ROADWAYS, DRIVES, AND PAVING, ETC.

3. THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.

4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.

5. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC., SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE. THE MAIN LINE PIPE SHALL BE INSTALLED AND ROUTED TO AVOID UNFORESEEN BELOW GRADE CONDITIONS. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.

6. THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS AT EACH POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO EACH CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO THE START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISION NECESSARY.

7. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.

8. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.

9. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE AND TO PREVENT OVER SPRAY ONTO WALKS, STREETS, WALLS, ETC. THIS SHALL INCLUDE USE OF RAIN-BIRD PRESSURE COMPENSATING SCREENS "PCS", SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH REMOTE CONTROL VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.

10. 120 VAC POWER SOURCE FOR THE CONTROLLER SHALL BE PROVIDED UNDER THE ELECTRICAL SECTION OF THE SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE ELECTRICAL SERVICE WITH THE GENERAL CONTRACTOR AND SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER.

11. ALL MAIN LINE PIPING AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. MAIN LINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES UNDER PAVING. IN ADDITION TO THE CONTROL WIRE SLEEVES SHOWN ON THE DRAWINGS, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CONTROL WIRE SLEEVES OF SUFFICIENT SIZE UNDER ALL PAVED AREAS.

12. ALL LATERAL LINE PIPING UNDER PAVING WITHOUT A SLEEVE SHALL BE PVC SCHEDULE 40 PIPE AND SHALL BE INSTALLED PRIOR TO PAVING.

13. PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SHALL BE PERMITTED BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REJECTION.

14. FINAL LOCATION OF THE AUTOMATIC CONTROLLER LOCATION SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

15. ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN SHRUB AND GROUND COVER AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEAD IS 1-INCH ABOVE FINISH GRADE.

16. ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN LAWN AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEADS ARE FLUSH WITH ADJACENT SIDEWALK OR CURB.

17. AFTER RECEIVING NOTIFICATION BY THE OWNER'S AUTHORIZED REPRESENTATIVE, THE IRRIGATION CONTRACTOR, WITHIN TEN (10) DAYS SHALL ADJUST ALL LAWN HEADS SO THAT THE TOP OF THE SPRINKLER HEAD IS 1/4-INCH ABOVE FINISH GRADE.

18. ALL EQUIPMENT INSTALLED IN VALVE BOXES SHALL BE INSTALLED PER DETAIL DRAWINGS WITHOUT CUTTING SIDE WALLS OF THE VALVE BOX. CUT VALVE BOXES WILL BE REPLACED WITH NEW VALVE BOXES AS INSPECTED BY THE OWNER'S AUTHORIZED REPRESENTATIVE AT THE CONTRACTOR'S OWN EXPENSE.

19. ALL LEAD WIRES SHALL BE #14 GAUGE AND BLACK IN COLOR. ALL COMMON WIRES SHALL BE #14 GAUGE AND WHITE IN COLOR. TWO (2) EXTRA WIRES SHALL BE PROVIDED FOR EACH GROUP OF FIVE (5) VALVES AND LOOPED IN A NEARBY VALVE BOX WITH A 2" MINIMUM COIL.

20. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

21. TREE LOCATIONS TAKE PRIORITY OVER IRRIGATION PIPING. STAKE TREE LOCATIONS PRIOR TO TRENCHING FOR PIPE.

22. THE CONTRACTOR SHALL ALLOW FOR AN ASSORTMENT OF VARIABLE ADJUSTABLE NOZZLES (VAN) TO BE INSTALLED IN AREAS WHERE STANDARD PATTERN NOZZLES ARE NOT APPLICABLE.

23. REFER TO SPECIFICATIONS FOR ADDITIONAL DETAILED INFORMATION.

24. "HEAT BRAND" THE TOPS OF THE VALVE BOX LIDS WITH THE APPROPRIATE IDENTIFICATION. REFER TO THE IRRIGATION SPECIFICATIONS.

25. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.

26. A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

27. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

28. PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.

29. CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.

30. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

31. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE SIGNER OF THE LANDSCAPE PLANS, THE SIGNER OF THE IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.

32. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

WATER CONSERVATION STATEMENT

THE SYSTEM IS DESIGNED TO ACHIEVE CONSERVATION AND EFFICIENCY IN WATER USE BY PROVIDING ANTI-DRAIN DEVICES TO PREVENT LOW HEAD DRAINAGE, RAIN SENSOR/ INTERRUPT SWITCH THAT PREVENTS THE SYSTEM FROM ACTIVATING DURING RAIN EVENTS, PRESSURE COMPENSATING DEVICES AND LOW VOLUME HEADS TO REDUCE WATER CONSUMPTION.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

I AGREE WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE

X  LANDSCAPE ARCHITECT

This worksheet is filled out by the project applicant and it is a Landscape Documentation Package.

SECTION A. HYDROZONE INFORMATION

Please complete the hydrozone table(s) for each hydrozone. Use to provide the square footage of landscape area per hydrozone.

Hydrozone*	Zone / Valve
A - IRRIGATED LANDSCAPE	A1, B2
B - TREES	A2, B1

A - IRRIGATED LANDSCAPE	A1, B2
B - TREES	A2, B1

PART 2. CERTIFICATION OF INSTALLATION ACCORDING TO THE LANDSCAPE DOCUMENTATION PACKAGE

*I/we certify that based upon periodic site observations, the work has been substantially completed in accordance with the ordinance and that the landscape planning and irrigation installation conform with the criteria and specifications of the approved Landscape Documentation Package.

Signature*	Date
Name (print) MICHAEL SAVAGE	Telephone No. 714-878-0335
Title PRESIDENT	Email Address MICHAEL@SAVAGELANDESIGN.COM
License No. or Certification No. RLA 4397	Street Address SAVAGE LAND DESIGN 680 LANGSDORF DR, STE 202B
City FULLERTON	State CALIFORNIA
Zip Code 92831	

*Signer of the landscape design plan, signer of the irrigation plan, or a licensed landscape contractor.

PART 3. IRRIGATION SCHEDULING

Attach parameters for setting the irrigation schedule on controller per ordinance Section 492.10.

PART 4. SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE

Attach schedule of Landscape and Irrigation Maintenance per ordinance Section 492.11.

PART 5. LANDSCAPE IRRIGATION AUDIT REPORT

Attach Landscape Irrigation Audit Report per ordinance Section 492.12.

PART 6. SOIL MANAGEMENT REPORT

Attach soil analysis report, if not previously submitted with the Landscape Documentation Package per ordinance Section 492.5.

Attach documentation verifying implementation of recommendations from soil analysis report per ordinance Section 492.5.

Appendix B - Sample Water Efficient Landscape Worksheet.

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

SECTION A. HYDROZONE INFORMATION TABLE

Please complete the hydrozone table(s) for each hydrozone. Use as many tables as necessary to provide the square footage of landscape area per hydrozone.

Hydrozone*	Zone / Valve	Irrigation
A	A	A

Appendix C - Sample Certificate of Completion.

CERTIFICATE OF COMPLETION

This certificate is filled out by the project applicant upon completion of the landscape project.

PART 1. PROJECT INFORMATION SHEET

Date	
Project Name	14 UNIT MULTIFAMILY BLDG
Name of Project Applicant	Telephone No.
	Fax No.
Title	Email Address
Company	Street Address
City	State
	Zip Code

Project Address and Location:

Street Address	2512 CENTINELA AVE	Parcel, tract or lot number, if available.
City	LOS ANGELES	Latitude/Longitude (optional)
State	CALIFORNIA	Zip Code
	90064	

Property Owner or his/her designee:

Name	Telephone No.
MICHAEL SAVAGE	714-878-0335
	Fax No.
Title	Email Address
PRESIDENT	MICHAEL@SAVAGELANDESIGN.COM
Company	Street Address
SAVAGE LAND DESIGN	680 LANGSDORF DR, STE 202B
City	State
FULLERTON	CALIFORNIA
	Zip Code
	92831

Property Owner

I/we certify that I/we have received copies of all the documents within the Landscape Documentation Package and the Certificate of Completion and that it is our responsibility to see that the project is maintained in accordance with the Landscape and Irrigation Maintenance Schedule.

Property Owner Signature _____ Date _____

Please answer the questions below:

- 1. Date the Landscape Documentation Package was submitted to the local agency _____
- 2. Date the Landscape Documentation Package was approved by the local agency _____
- 3. Date that a copy of the Water Efficient Landscape Worksheet (including the Water Budget Calculation) was submitted to the local water purveyor _____

IRRIGATION MAINTENANCE SCHEDULE:

1. LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT; RESETTING REPLENISHING MULCH; FERTILIZING; PRUNING; AND WEEDING IN ALL LANDSCAPE AREAS.

2. WHENEVER POSSIBLE, REPAIR OF THE IRRIGATION EQUIPMENT SHALL BE DONE WITH THE ORIGINALLY SPECIFIED MATERIALS OR THEIR EQUIVALENT SPECIFICATION.

IRRIGATION AUDIT SCHEDULE:

1. AT A MINIMUM, AUDITS SHALL BE IN ACCORDANCE WITH THE STATE OF CALIFORNIA LANDSCAPE AUDITOR HANDBOOK.

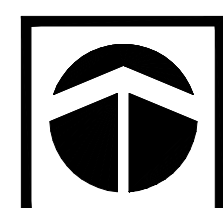
2. AUDITS SHALL BE CONDUCTED BY A STATE CERTIFIED LANDSCAPE IRRIGATION AUDITOR AT LEAST ONCE EVERY FIVE YEARS AND SUBMITTED TO THE LOCAL WATER PURVEYOR.

SOIL SPECIFICATION / ANALYSIS SAMPLE:

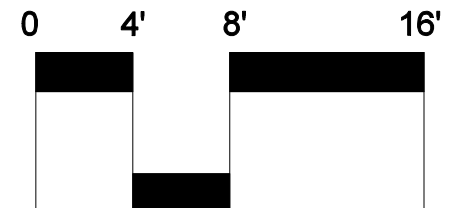
1. PROVIDE SOIL SPECIFICATIONS IF IMPORT SOIL OR PROVIDE SOIL ANALYSIS IF USING ON SITE SOIL. THE SOIL INFORMATION MUST INCLUDE: SOIL TEXTURE (% OF ORGANIC MATTER), INFILTRATION RATE (OR ESTIMATED RANGE), PH & TOTAL SOLUBLE SALTS, INDICATE IF MULCH, SOIL AMENDMENTS OR OTHER MATERIAL WILL BE USED OR REQUIRED.

HOLD HARMLESS AND INDEMNIFICATION CLAUSE

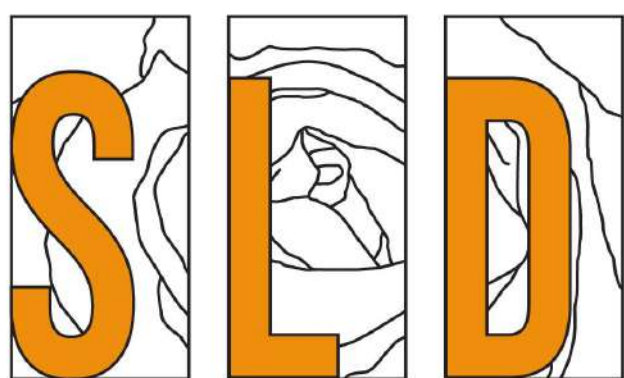
CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, /EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION, OR THE LANDSCAPE ARCHITECT.



NORTH



SCALE: 1/8"=1'-0"



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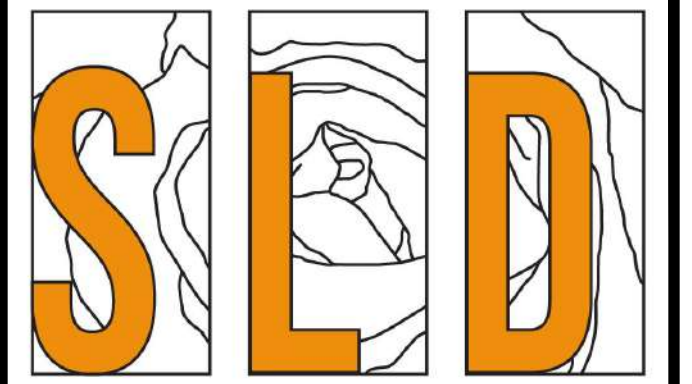


IRRIGATION NOTES AND CALCULATIONS

Date 09-20-23

Sheet LI-1

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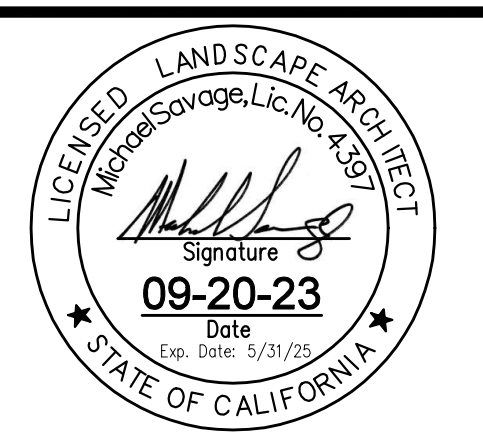
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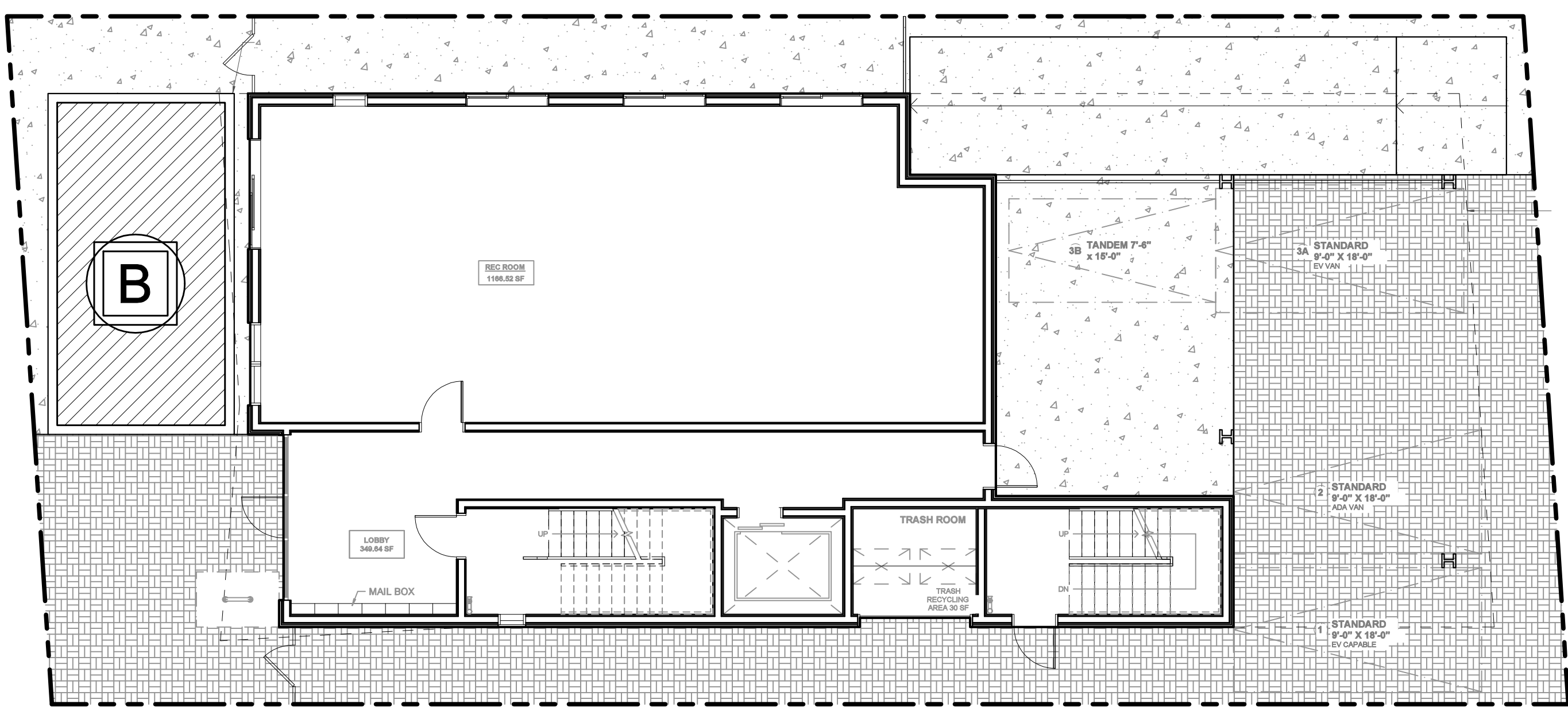
No.	Revision / Issue	Date



IRRIGATION HYDROZONES

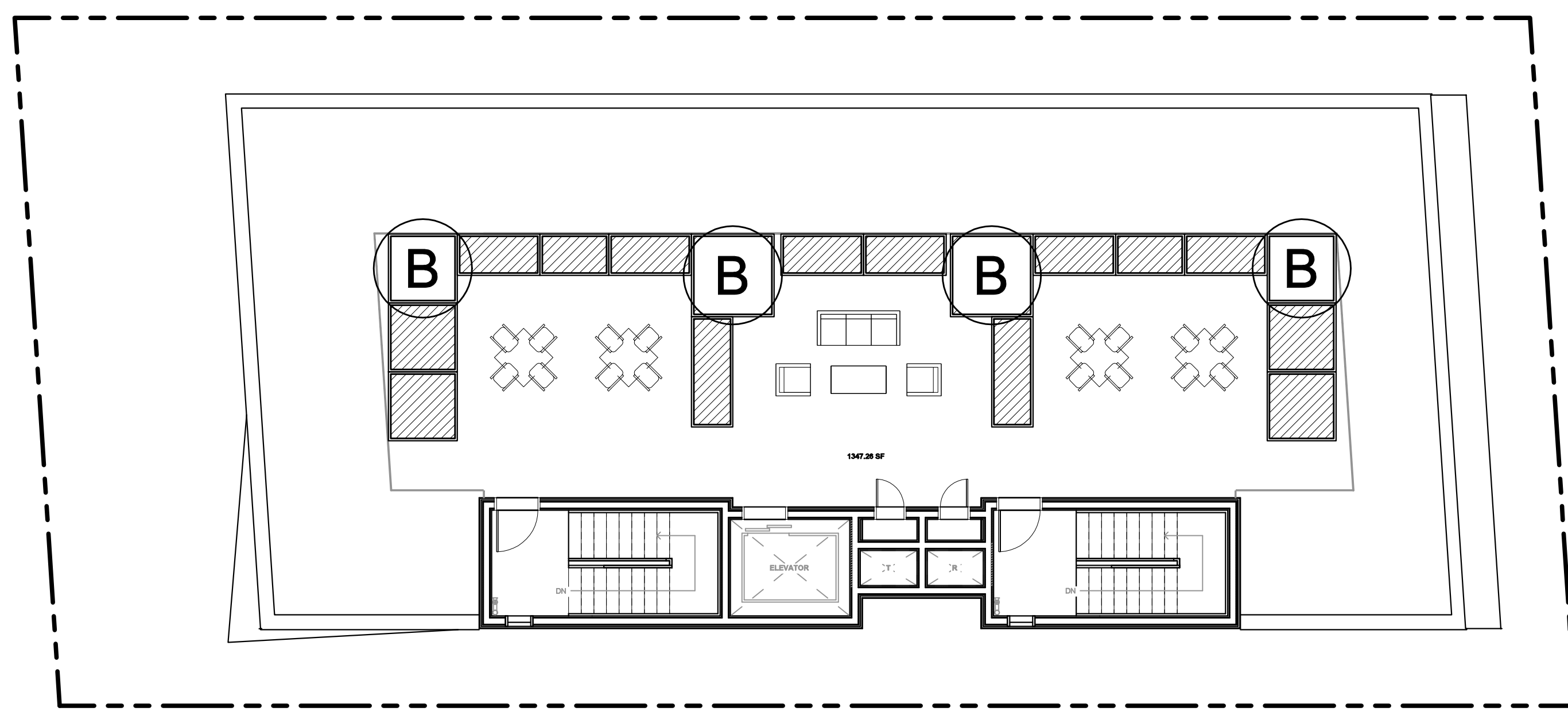
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Sheet	5 of 10		

CENTINELA AVE.



ALLEY

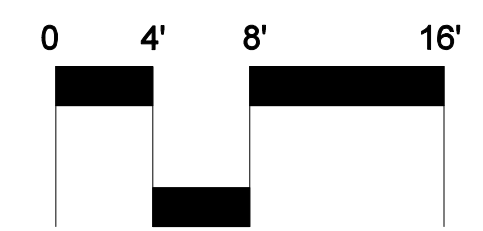
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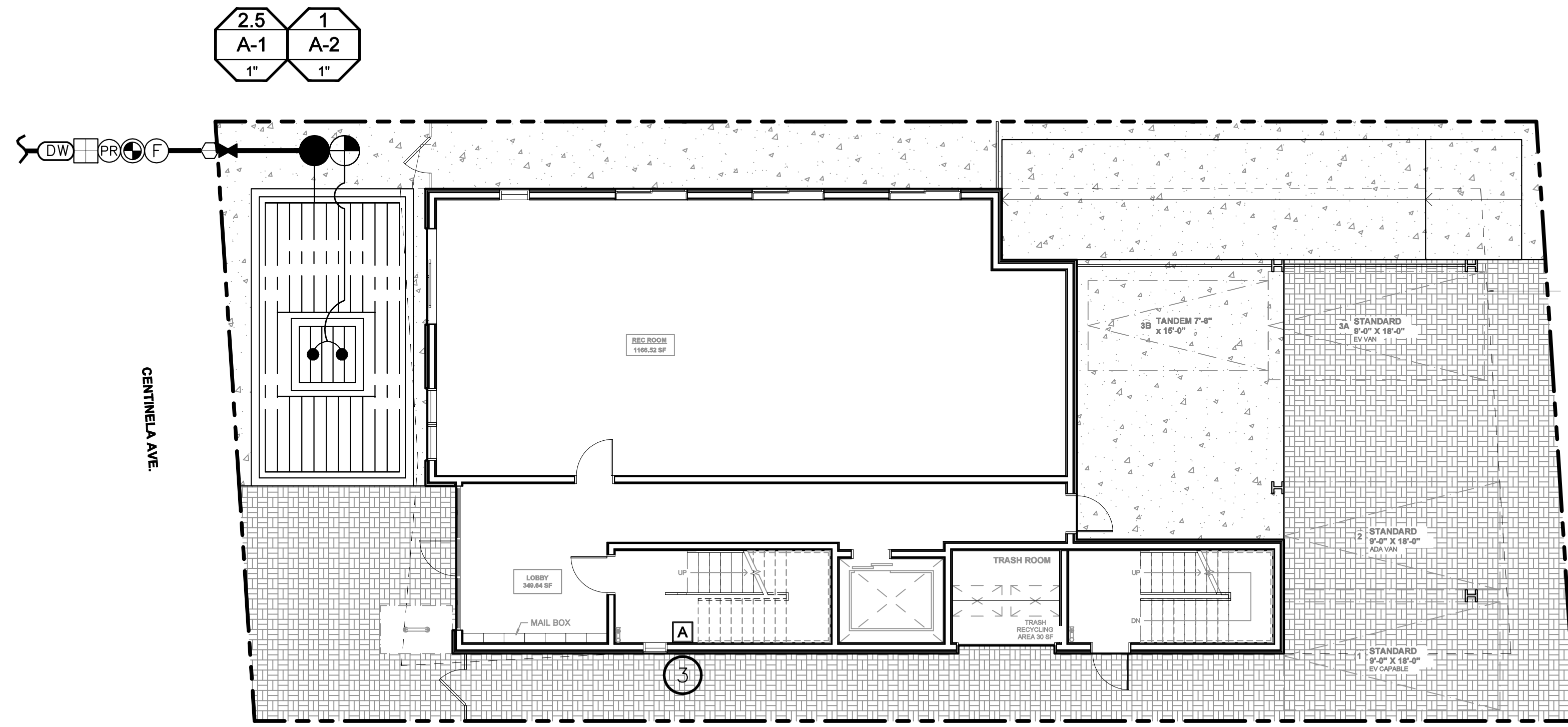
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NORTH

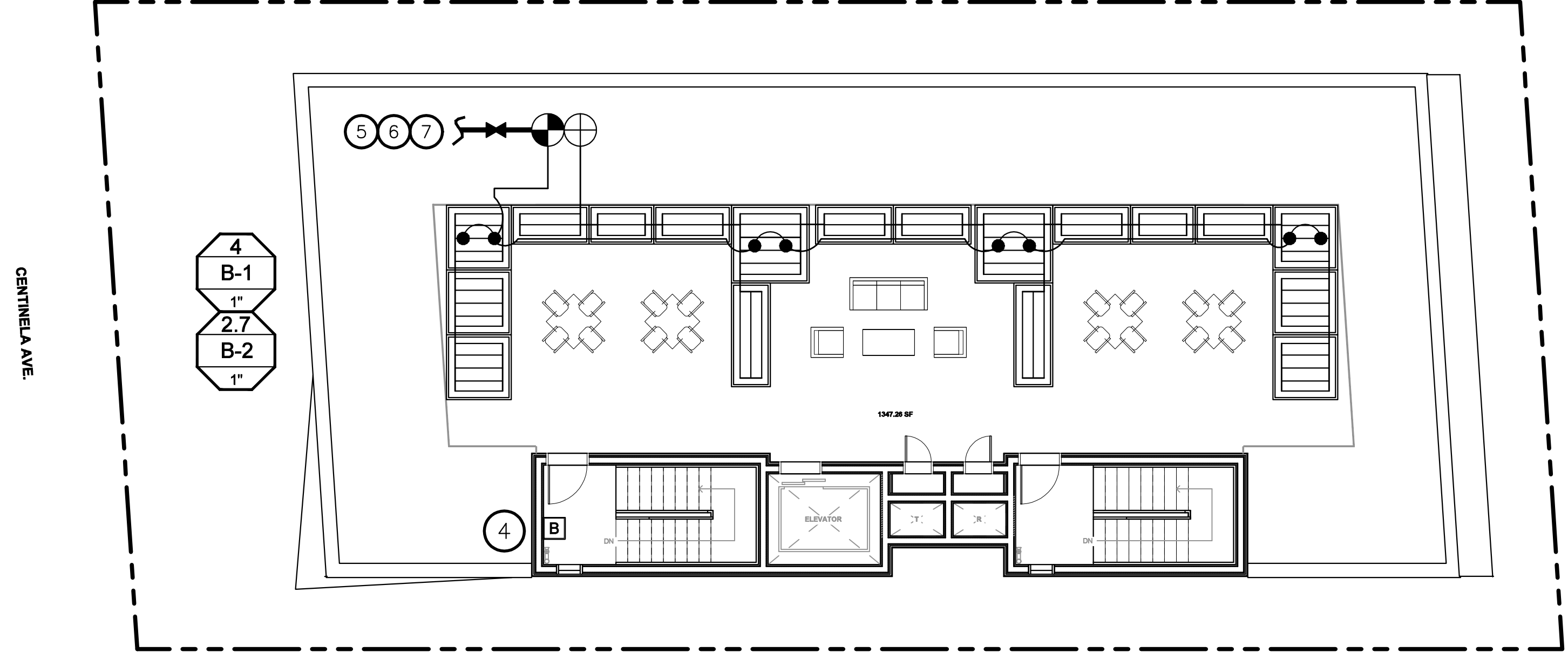


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CENTINELA AVE

ALLEY



CENTINELA AVE

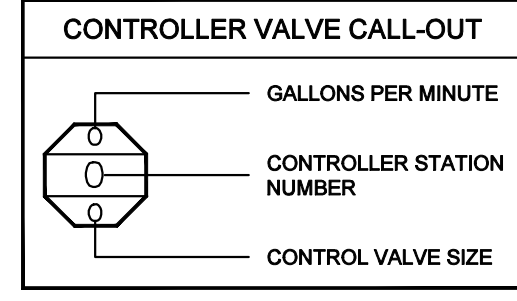
ALLEY

IRRIGATION LEGEND

SYMBOL	MANUFACTURER	MODEL NUMBER	DESCRIPTION	RAD.	P.S.I.	G.P.M.
●	RAINBIRD	1806-SAM-PRS-PA80-140Z	POP-UP BUBBLER	2'	25	.50
---	HUNTER	HDL-06-12-CV	ON SURFACE DRIPLINE - INLET PRESSURE 30 PSI			
---	HUNTER	ECO-MAT-17	BELOW GRADE DRIPLINE - INLET PRESSURE 30 PSI			
---	APPROVED	PVC SCH 40	IRRIGATION SLEEVE (SEE NOTES FOR SIZE)			
---	APPROVED	PVD CLASS 200	LATERAL LINE PIPE			
---	APPROVED	PVC SCH 40	MAIN LINE PIPE (1")			
⊕	HUNTER	PGV-101-ASV	1" ANTI-SIPHON VALVE W/ FLOW CONTROL			
⊕	HUNTER	ACZ-101-40	1" ACZ GLOBE VALVE W/ 1" H1100 FILTER SYSTEM			
⊕	HUNTER	PCZ-101-40	1" PCZ VALVE W/ 1" H1100 FILTER SYSTEM			
⊕	HUNTER	PGV-101G	1" GLOBE VALVE W/ FLOW CONTROL			
⊕	HUNTER	CONTROLLER ASSEMBLY	REFER TO IRRIGATION NOTES FOR INFORMATION			
⊕	HUNTER	CONTROLLER ASSEMBLY	REFER TO IRRIGATION NOTES FOR INFORMATION			
⊕	NIBCO	T-113-K	ISOLATION GATE VALVE (LINE SIZE)			
⊕	NEW	3/4" DOMESTIC	SEE DETAIL C, SHEET LI-4			
⊕	FEBCO	825YA	WATER METER FOR LANDSCAPE USE ONLY			
⊕	RAINBIRD	100-PEB	3/4" REDUCED PRESSURE BACKFLOW ASSEMBLY IN LOCKING ENCLOSURE			
⊕	RAINBIRD	FS100P	1" MASTER VALVE			
⊕	NELSON	784Z	FLOW SENSOR			
⊕	ZURN WILKINS	1-70XL	QUICK COUPLER VALVE (LINE SIZE)			
⊕			1" WATER PRESSURE REDUCING VALVE (FNPT) - 45 PSI			

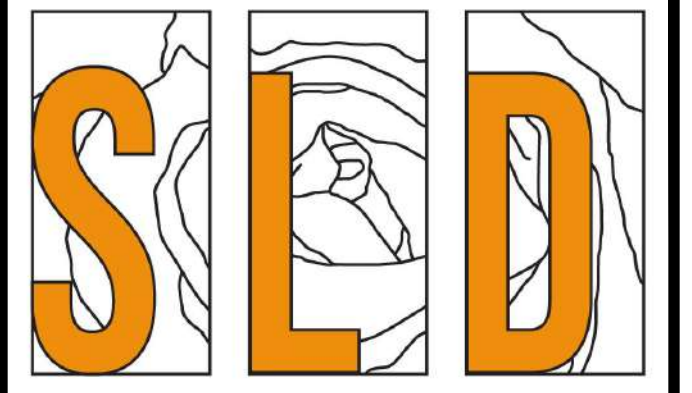
IRRIGATION NOTES

- DESIGN PRESSURE: 30 PSI
ACTUAL STATIC PRESSURE: 123/88 PSI
- CONTRACTOR SHALL PROVIDE BALL VALVE BETWEEN POINT OF CONNECTION AND CONTROL VALVE MANIFOLD. PRESSURIZED MAINLINE FROM POINT OF CONNECTION TO CONTROL VALVE SHALL BE PVC SCHEDULE 80.
- CONTRACTOR SHALL PROVIDE (1) I-CORE IC-600-SS 6 STATION OUTDOOR CONTROLLER WITH (1) ICM-600 EXPANSION MODULES AND (1) WSS-SEN WIRELESS SOLAR SYNC SENSOR. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL PROVIDE (1) HUNTER PC-400-STATION OUTDOOR CONTROLLER. CONTRACTOR SHALL PROVIDE (1) WSS-SEN WIRELESS SOLAR SYNC SENSOR. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL PROVIDE 3/4" COPPER MAIN LINE WITH BALL VALVE.
- FOR ROOF ROP LANDSCAPE, ALL LATERAL LINES SHALL BE 3/4" COPPER.
- CONTRACTOR SHALL PROVIDE DRAIN CONNECTIONS FROM PLANTERS TO ROOF DRAIN SYSTEM.



CONSTRUCTION NOTES

- THIS PROJECT WILL COMPLY WITH: 2007 CBC, CPC, AND 2007 CEC AND 2008 TITLE 24 ENERGY REGULATIONS AND ALL CITY ORDINANCES.
- THE HOUSE STREET NUMBER WILL BE VISIBLE FROM THE STREET.
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BY-PRODUCTS, SOIL PARTICULATES, CONSTRUCTION WASTE MATERIALS, OR WASTE WATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED CONVEYED OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN SYSTEMS.



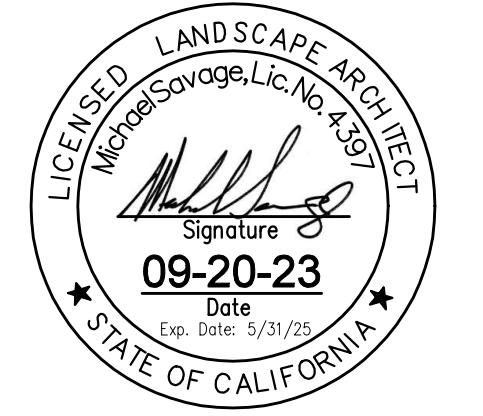
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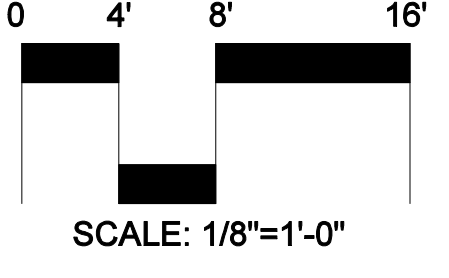
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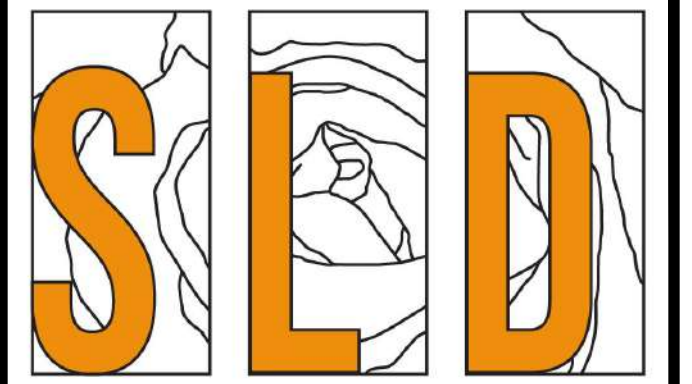
No.	Revision / Issue	Date



IRRIGATION LAYOUT PLAN

Date	09-20-23	Sheet	LI-3
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Sheet	6 of 10		





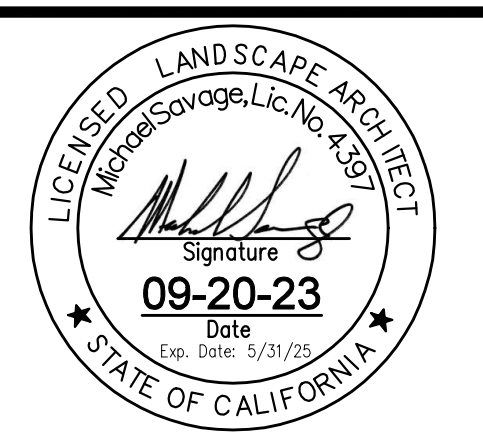
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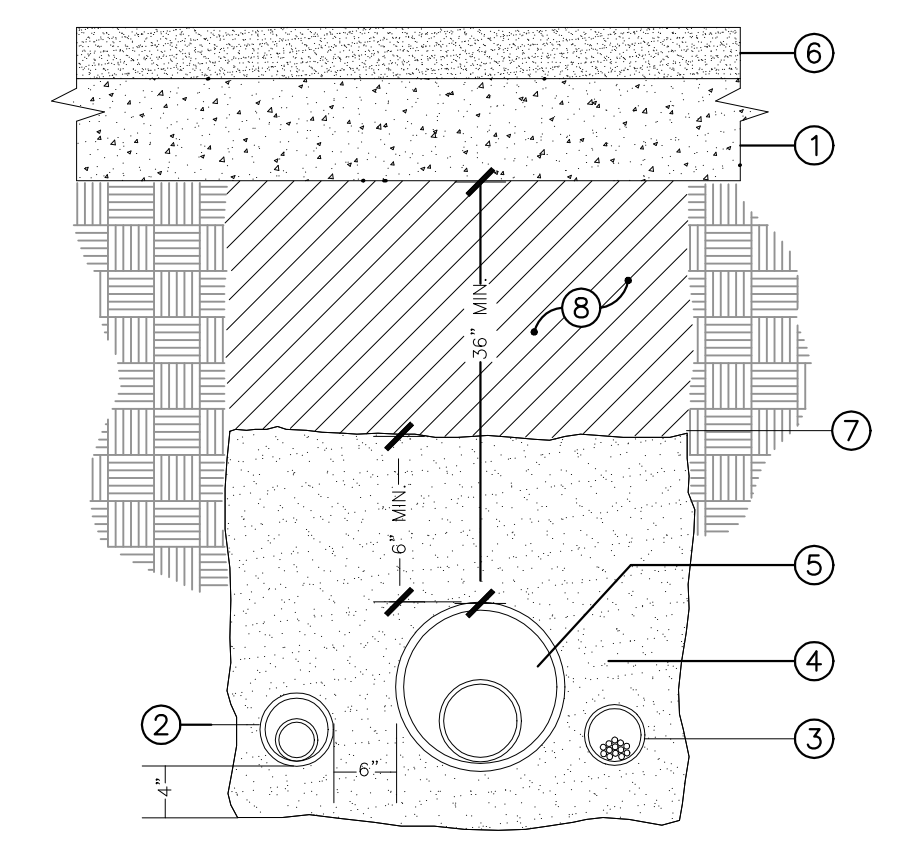
No.	Revision / Issue	Date



IRRIGATION DETAILS

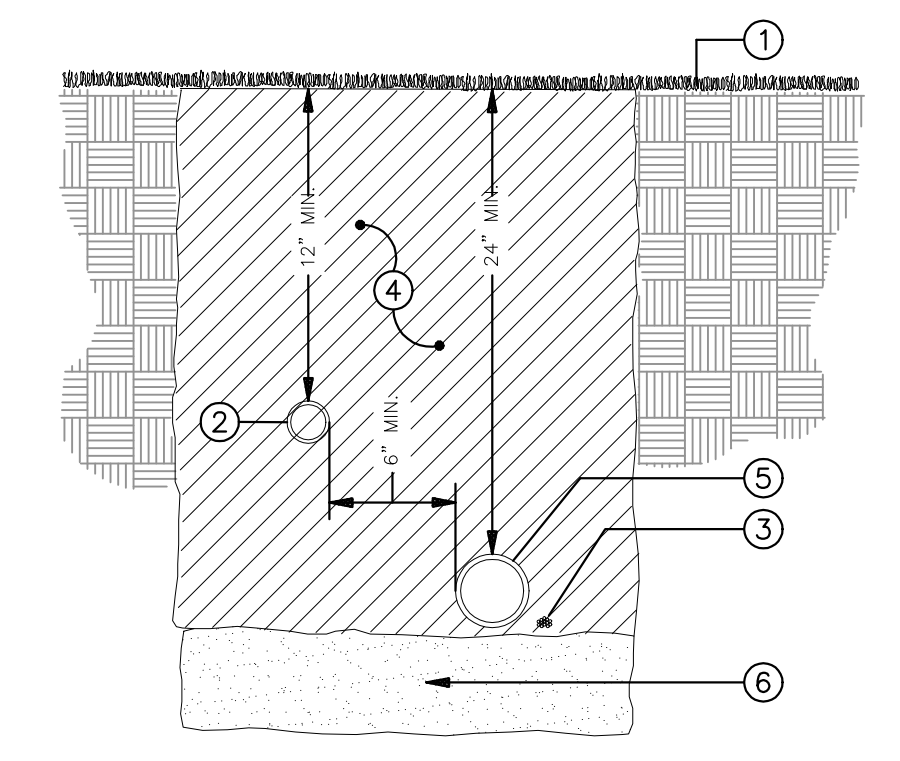
Date **09-20-23** Sheet

Scale **LI-4**
Sheet **7 of 10**



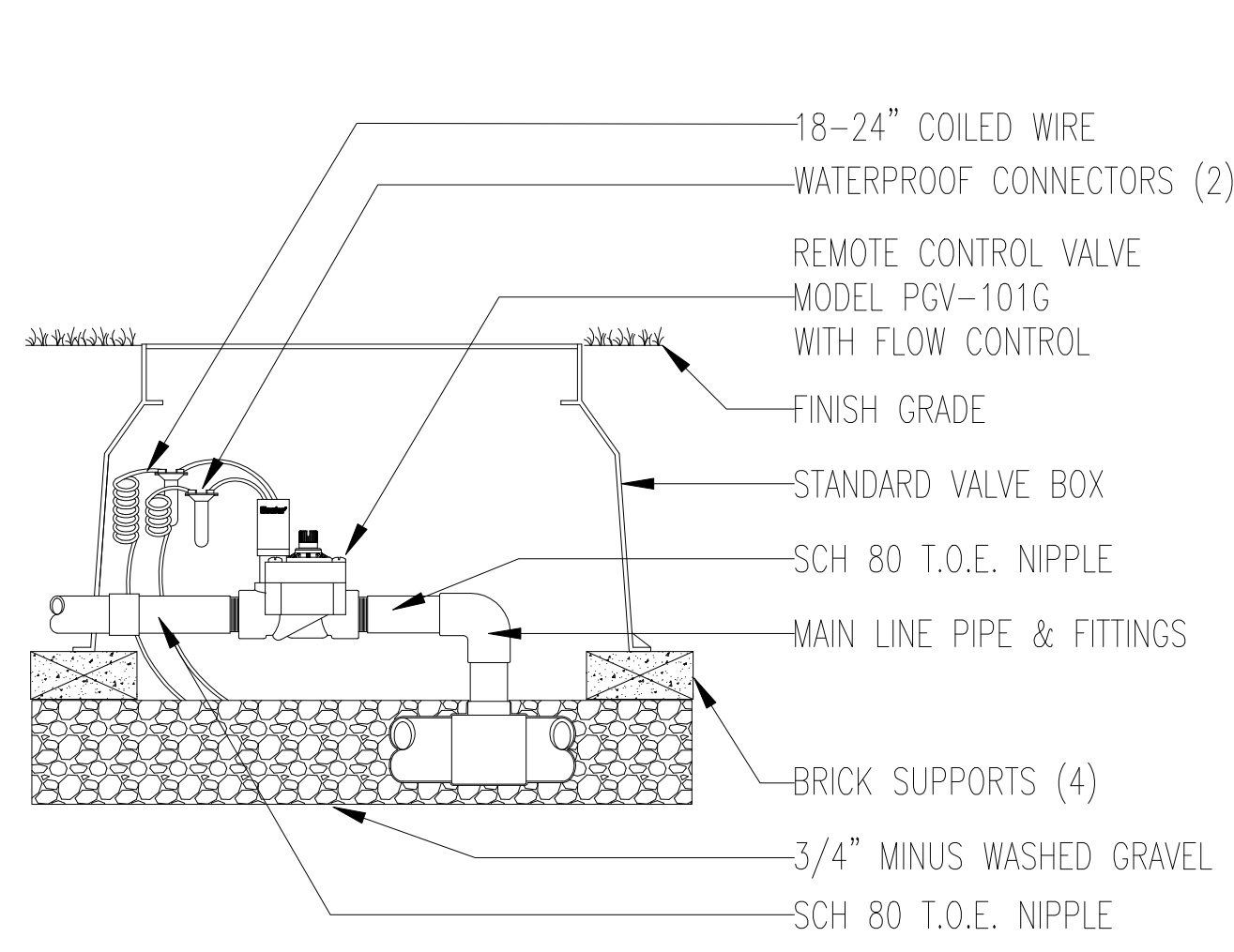
- 1 SUBGRADE
- 2 LATERAL LINE (ON SLEEVE)
- 3 CONTROL WIRES (ON CONDUIT)
- 4 CLEAN GRANITE SAND
- 5 PRESSURE SUPPLY LINE (ON SLEEVE)
- 6 FINISH SURFACE
- 7 SOIL SEPARATOR
- 8 90% CLEAN BACKFILL

TRENCHING UNDER HARDSCAPE A



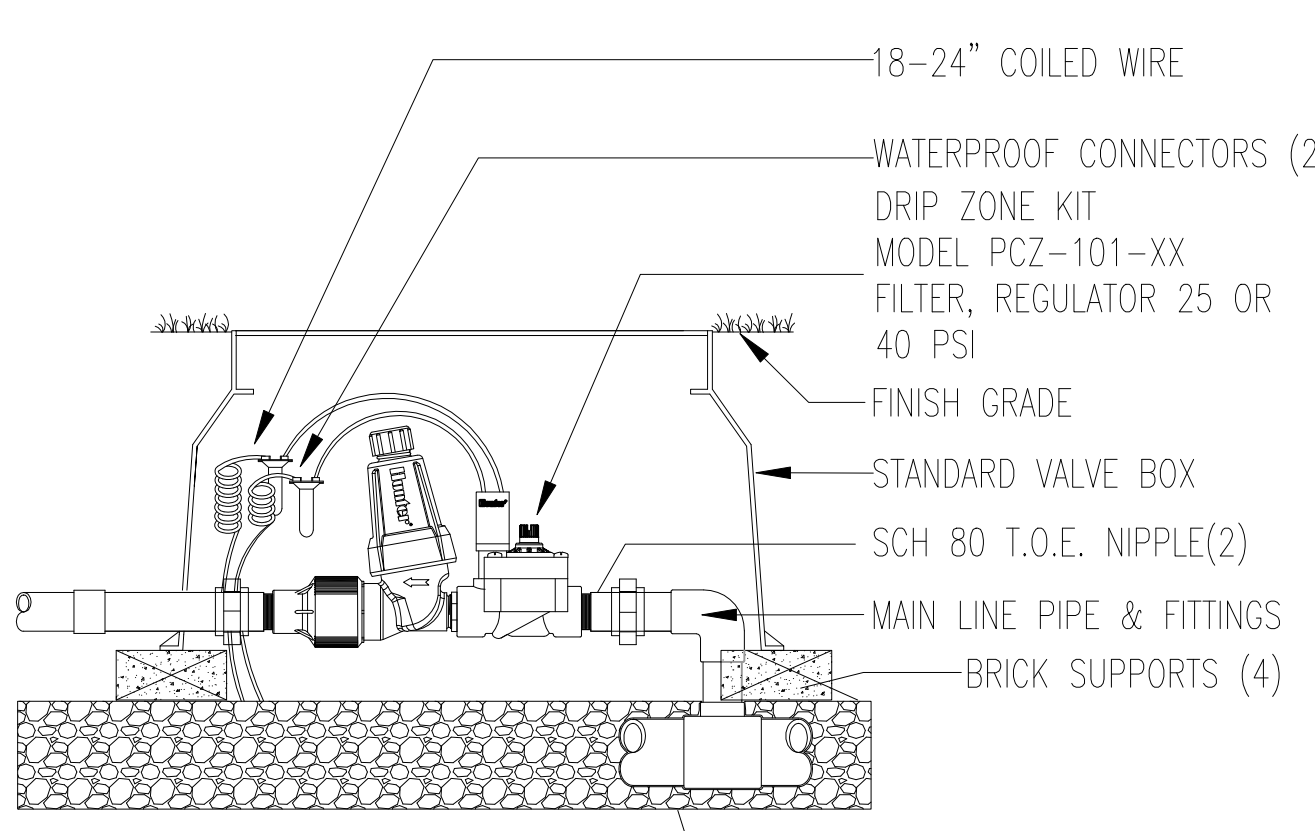
- 1 FINISH GRADE
 - 2 LATERAL LINE
 - 3 CONTROL WIRES
 - 4 CLEAN BACKFILL
 - 5 PRESSURE SUPPLY LINE
 - 6 SAND BEDDING
- INSTALL ALL CONTROL WIRE ON THE UNDERSIDE OF THE PRESSURE SUPPLY LINE.

TRENCHING IN LANDSCAPE B



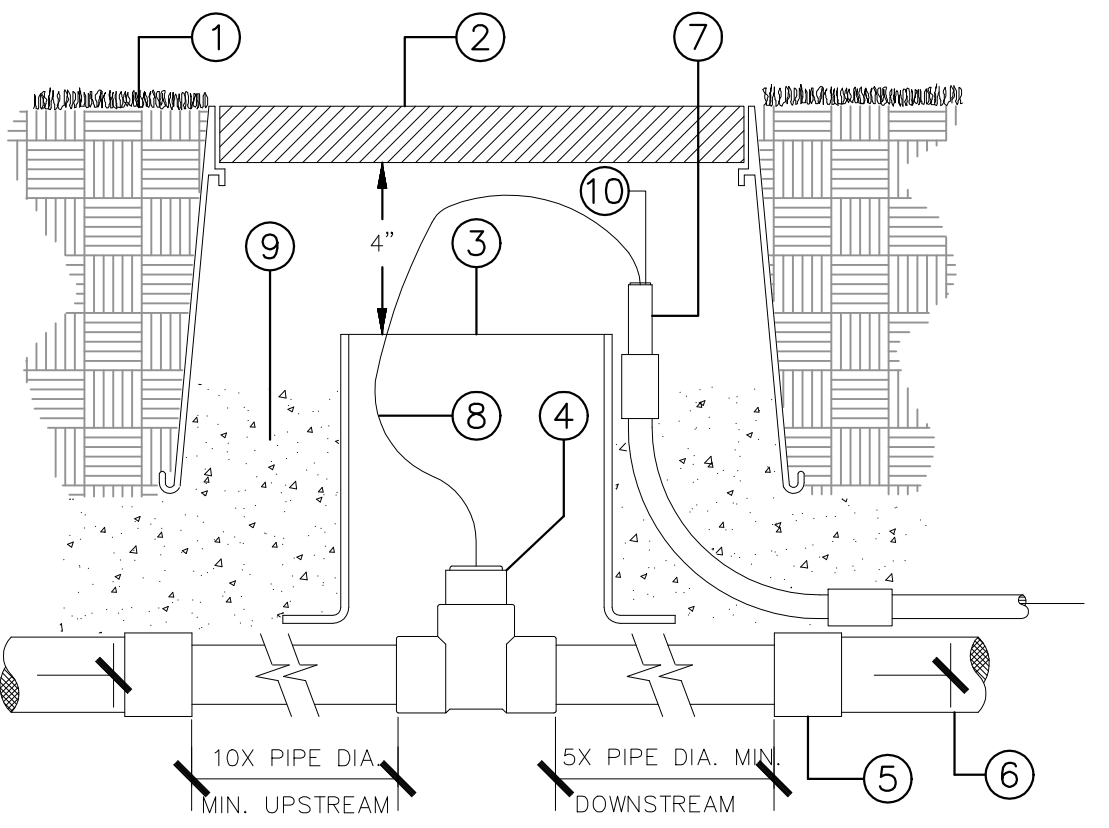
- 18-24" COILED WIRE
- WATERPROOF CONNECTORS (2)
- REMOTE CONTROL VALVE MODEL PGV-101G WITH FLOW CONTROL
- FINISH GRADE
- STANDARD VALVE BOX
- SCH 80 T.O.E. NIPPLE
- MAIN LINE PIPE & FITTINGS
- BRICK SUPPORTS (4)
- 3/4" MINUS WASHED GRAVEL
- SCH 80 T.O.E. NIPPLE

CONTROL VALVE ASSEMBLY D



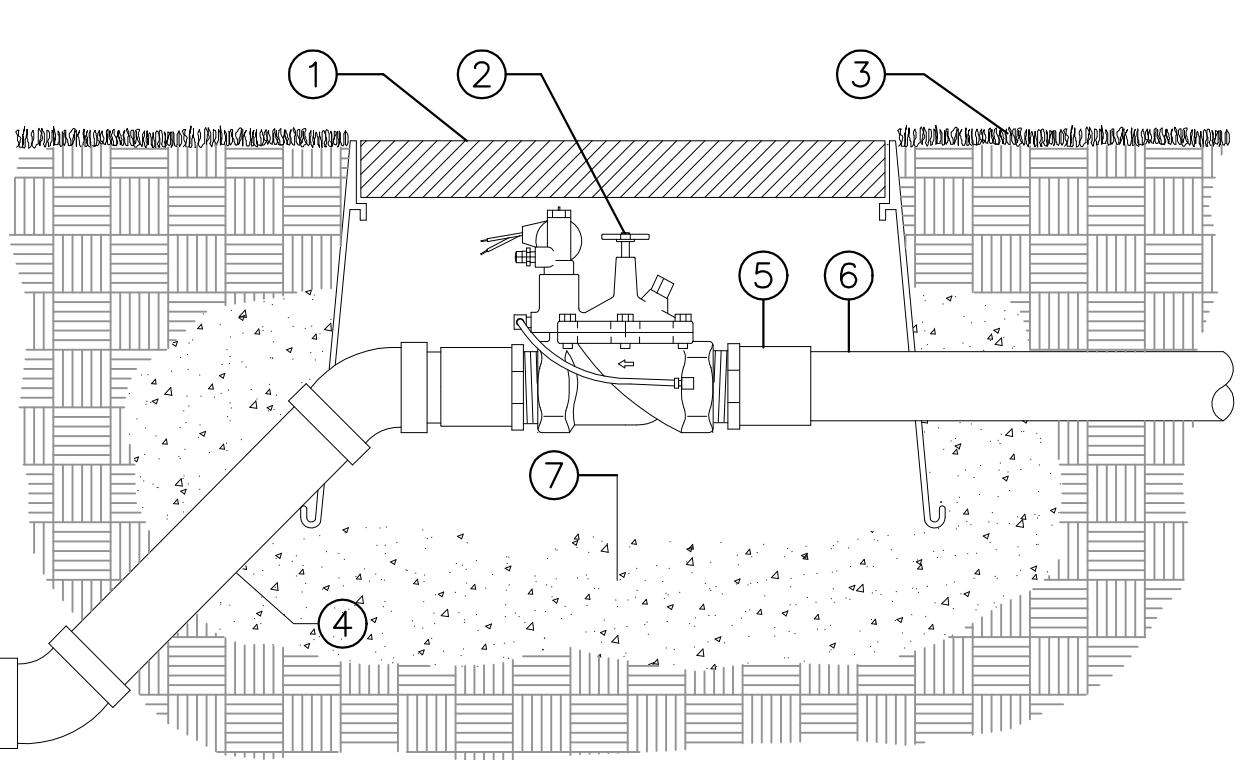
- 18-24" COILED WIRE
- WATERPROOF CONNECTORS (2)
- DRIP ZONE KIT MODEL PCZ-101-XX
- FILTER, REGULATOR 25 OR 40 PSI
- FINISH GRADE
- STANDARD VALVE BOX
- SCH 80 T.O.E. NIPPLE(2)
- MAIN LINE PIPE & FITTINGS
- BRICK SUPPORTS (4)
- 3/4" MINUS WASHED GRAVEL

DRIP VALVE ASSEMBLY E



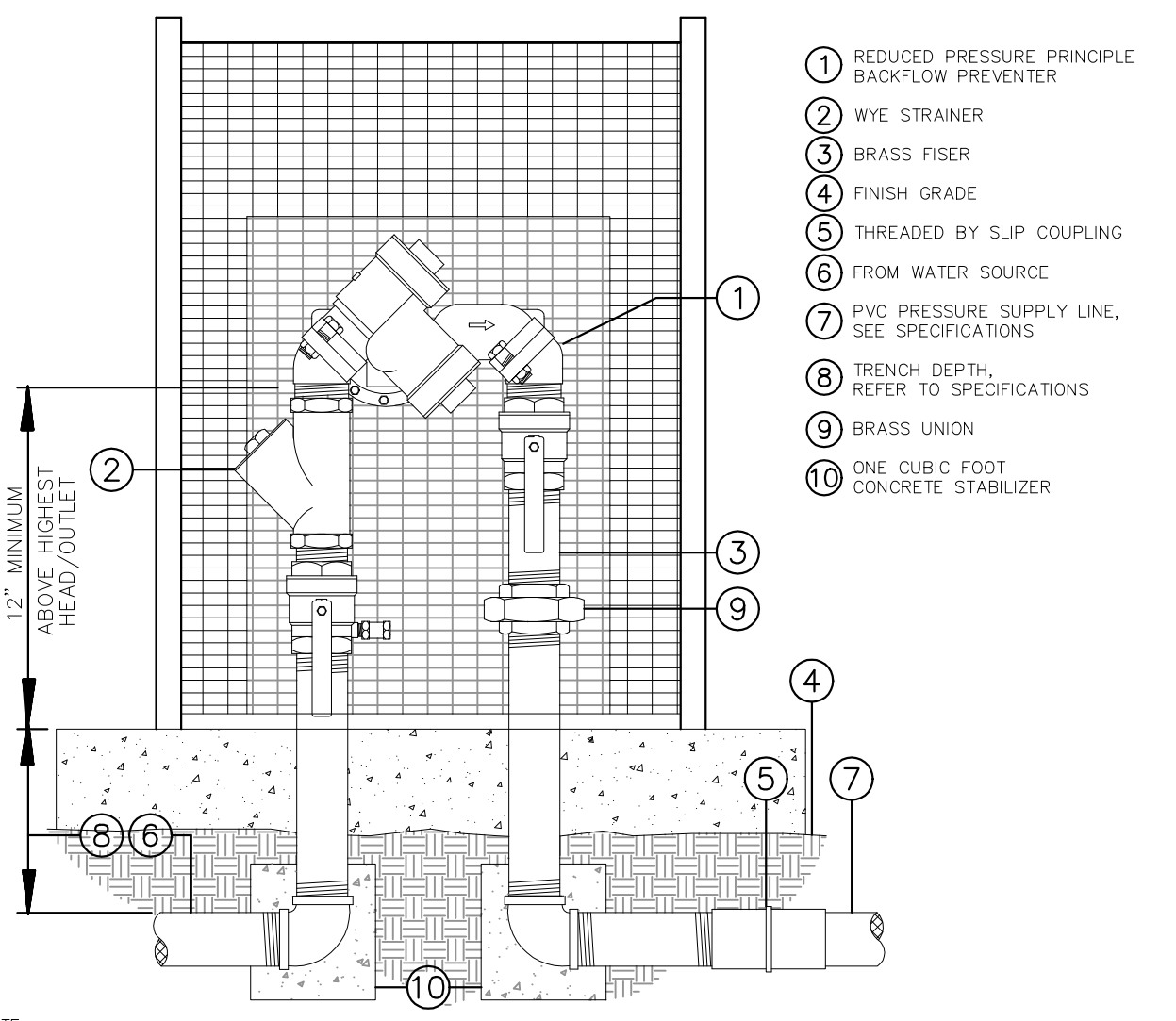
- 1 FINISH GRADE
- 2 RECTANGULAR VALVE BOX
- 3 8" DIA. CL 160 PVC SLEEVE BOTTOM TO BE FLARED AND CONTACT TOP OF PRESSURE SUPPLY LINE
- 4 FLOW SENSOR, REFER TO PLANS FOR MODEL NUMBER AND SIZE
- 5 PVC REDUCING COUPLER (2 REQUIRED)
- 6 PVC PRESSURE SUPPLY LINE
- 7 3/4" ELECTRICAL CONDUIT
- 8 BELDEN #9888 CABLE FROM SENSOR LEADS TO DATA DECODER, REFER TO PLANS FOR LOCATION
- 9 3/4" GRAVEL SUMP 1 CU. FT.
- 10 CONDUIT BUSHING

FLOW SENSOR F



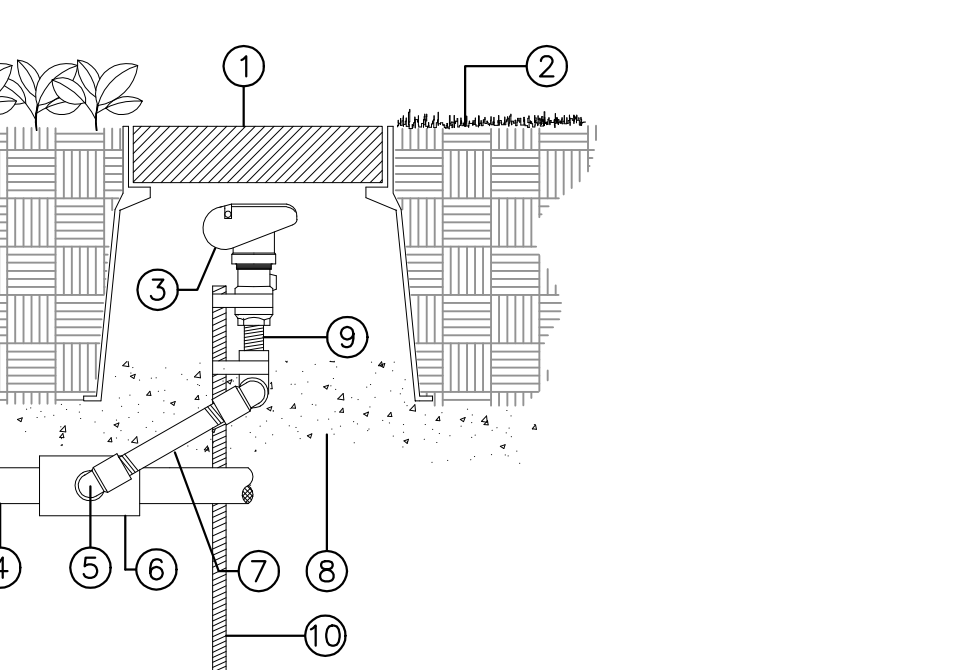
- 1 RECTANGULAR PLANSTIC VALVE BOX GREEN IN COLOR WITH PURPLE RECYCLED LABEL ON LID
 - 2 ELECTRIC REMOTE CONTROL VALVE
 - 3 FINISH GRADE
 - 4 PRESSURE SUPPLY LINE
 - 5 PVC MALE ADAPTOR (2 REQUIRED)
 - 6 PVC PRESSURE SUPPLY LINE FROM BASKET STRAINER
 - 7 3/4" CRUSHED ROCK SUMP (ONE CUBIC FOOT)
- NOTE: VALVE SHALL HAVE A MINIMUM OF 4" CLEARANCE FROM THE BOTTOM OF THE VALVE BOX LID, AND 2" MINIMUM CLEARANCE FROM THE BOTTOM OF VALVE AND TOP OF GRAVEL SUMP.
NOTE: ALL PIPE AND FITTINGS USED WITH RECYCLED WATER SHALL BE PURPLE IN COLOR.

MASTER VALVE C



- 1 REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER
- 2 WYE STRAINER
- 3 BRASS RISER
- 4 FINISH GRADE
- 5 THREADED BY SLIP COUPLING
- 6 FROM WATER SOURCE
- 7 PVC PRESSURE SUPPLY LINE, SEE SPECIFICATIONS
- 8 TRENCH DEPTH, REFER TO SPECIFICATIONS
- 9 BRASS UNION
- 10 ONE CUBIC FOOT CONCRETE STABILIZER

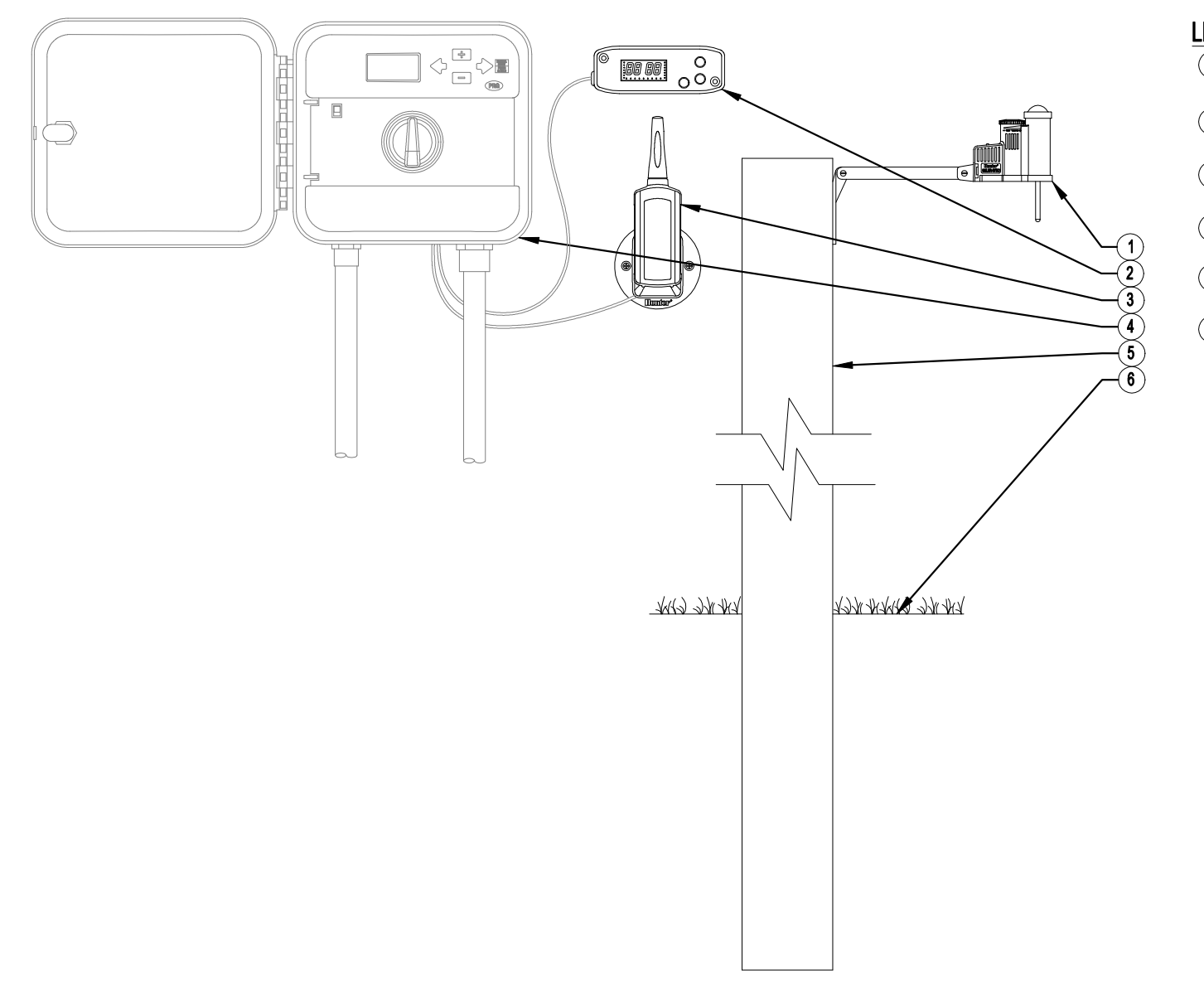
REDUCED PRESSURE BACKFLOW ASSEMBLY G



- 1 10" ROUND VALVE BOX WITH LOCKING BOLT LID
- 2 FINISH GRADE
- 3 QUICK COUPLING VALVE
- 4 PRESSURE SUPPLY LINE
- 5 PVC STREET ELL (2 REQUIRED)
- 6 PVC ELL
- 7 12" LONG PVC SCH. 80 THREADED NIPPLE
- 8 ONE (1) CU. FT. 3/4" CRUSHED ROCK SUMP
- 9 PVC SCH. 80 THREADED CLOSE NIPPLE
- 10 3/4" #4 REBAR STAKE WITH (2) SPRINKLER TIES OR STAINLESS STEEL HOSE CLAMPS

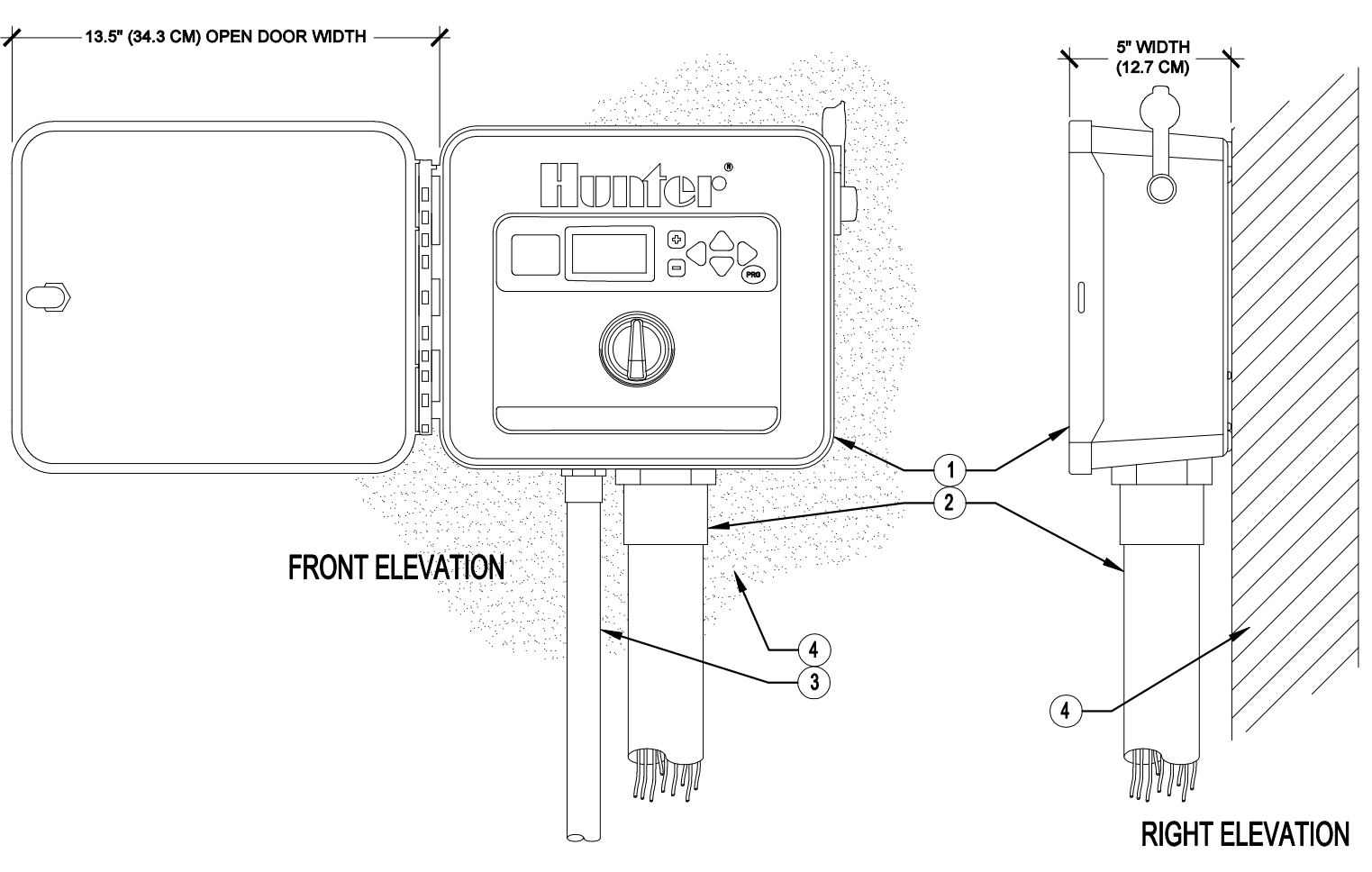
NOTE: INSTALL 12" FROM HARDSCAPE.

QUICK COUPLER VALVE J



- LEGEND:**
- 1 SOLAR SYNC WIRELESS SENSOR
 - 2 SOLAR SYNC MODULE
 - 3 SOLAR SYNC WIRELESS RECEIVER
 - 4 SOLAR SYNC COMPATIBLE CONTROLLER
 - 5 POST OR SUITABLE MOUNTING SURFACE
 - 6 FINISHED GRADE

WIRELESS SOLAR SYNC H



- LEGEND:**
- 1 IRRIGATION CONTROLLER (1 CORE) PER PLAN
 - 2 IRRIGATION CONTROL WIRE IN CONDUIT SIZE AND TYPE PER LOCAL CODES
 - 3 ELECTRICAL SUPPLY CONDUIT CONNECT TO POWER SOURCE, J-BOX INSIDE CONTROLLER
 - 4 ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN
- NOTE: MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUND 110 VAC POWER SOURCE

IRRIGATION CONTROLLER AND SENSOR - WALL MOUNT I

QUICK COUPLER VALVE J

REDUCED PRESSURE BACKFLOW ASSEMBLY G

CONTROL VALVE ASSEMBLY D

TRENCHING UNDER HARDSCAPE A

WIRELESS SOLAR SYNC H

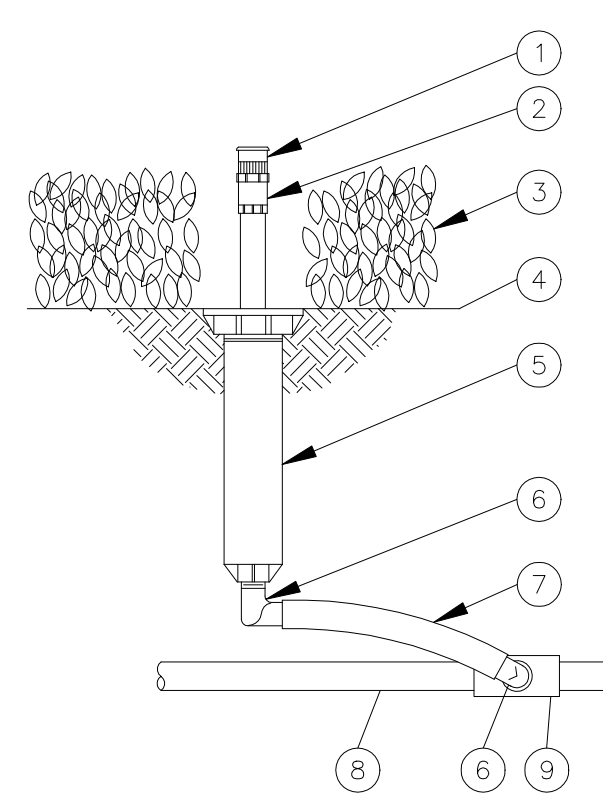
DRIP VALVE ASSEMBLY E

TRENCHING IN LANDSCAPE B

IRRIGATION CONTROLLER AND SENSOR - WALL MOUNT I

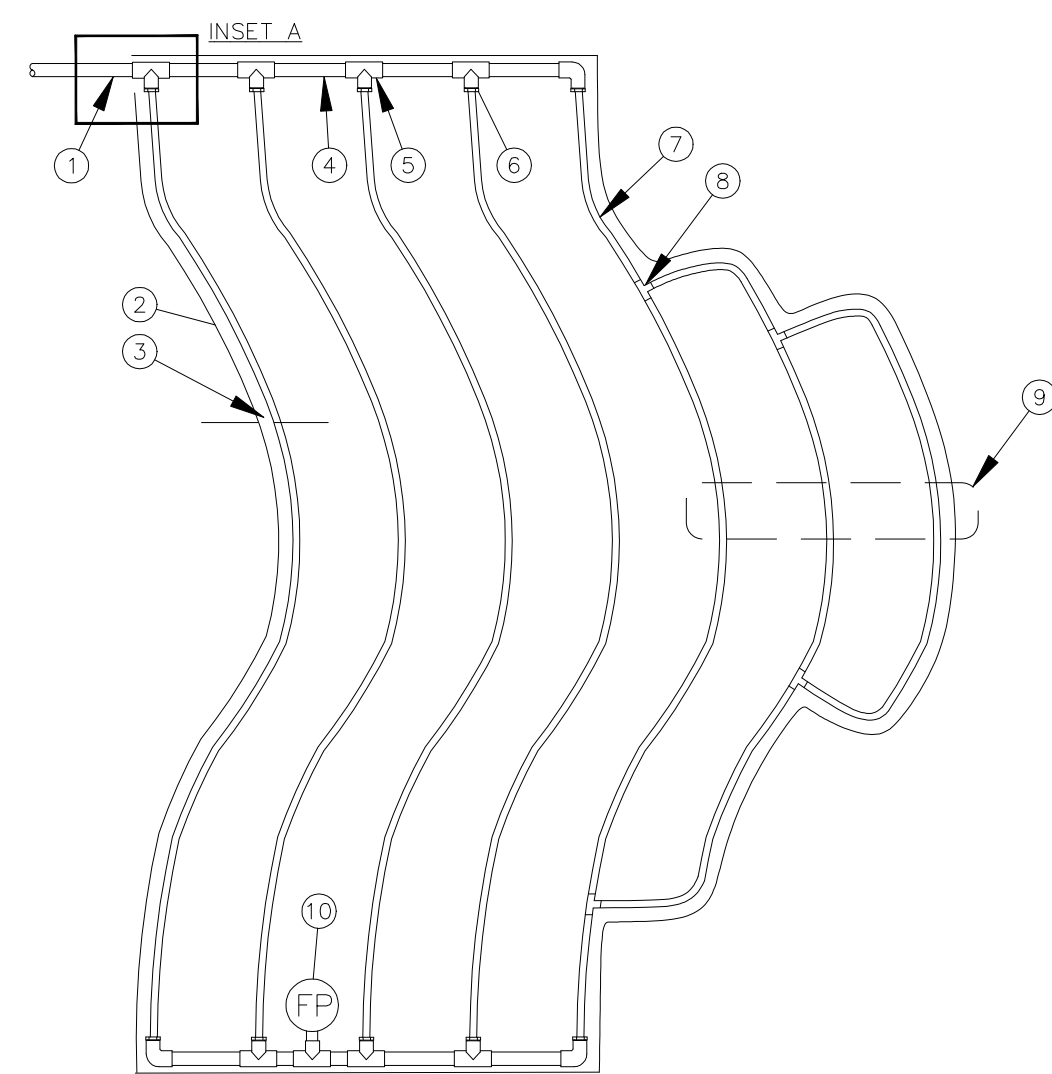
FLOW SENSOR F

MASTER VALVE C



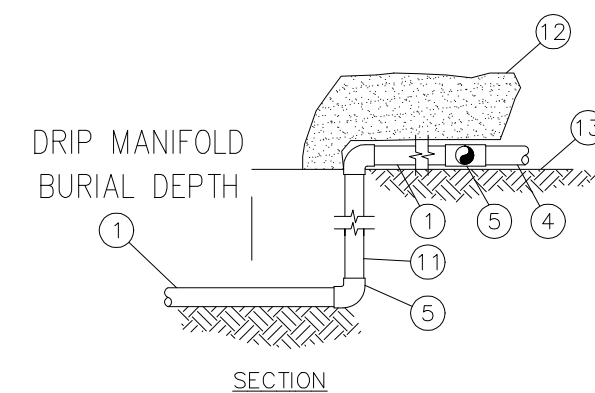
- ① PRESSURE COMPENSATING FULL-CIRCLE BUBBLER: RAIN BIRD 1400
- ② PLASTIC ADAPTER: RAIN BIRD MODEL PA-80
- ③ PLANT MATERIAL
- ④ FINISH GRADE/TOP OF MULCH
- ⑤ POP-UP SPRAY SPRINKLER: RAIN BIRD 1804
- ⑥ 1/2-INCH MALE NPT x 490-INCH BARB ELBOW: RAIN BIRD MODEL SBE-050
- ⑦ SWING PIPE, 12-INCH LENGTH: RAIN BIRD MODEL SP-100
- ⑧ PVC LATERAL PIPE
- ⑨ PVC SCH 40 TEE OR ELL

POP UP BUBBLER

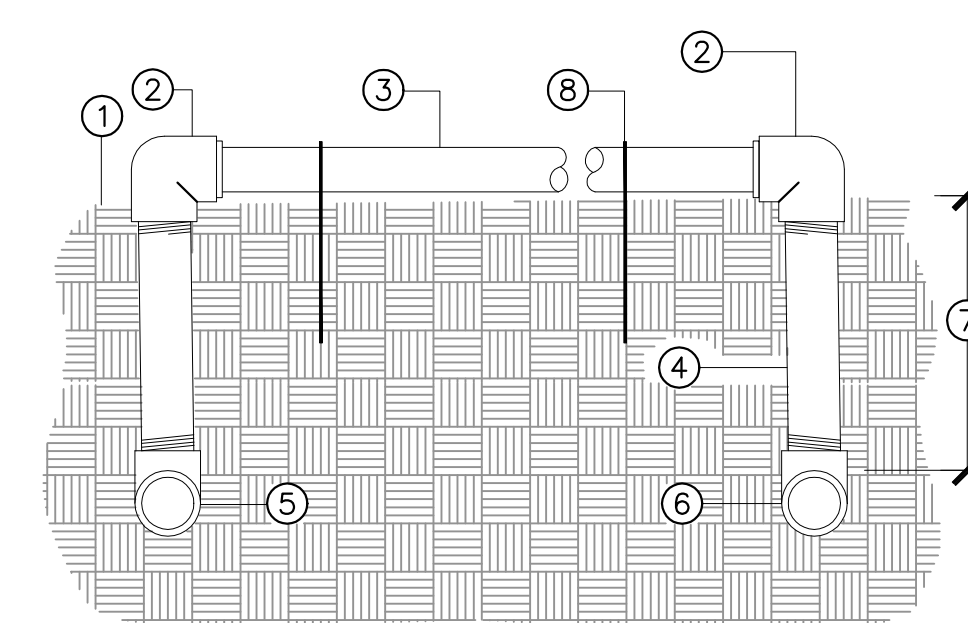


- ① PVC SUPPLY PIPE FROM CONTROL VALVE (SIZE PER PLAN)
- ② PERIMETER IF IRRIGATED AREA.
- ③ PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA
- ④ PVC SUPPLY MANIFOLD
- ⑤ PVC SCH 40 TEE OR EL (TYPICAL)
- ⑥ BARB X MALE FITTING:
- ⑦ ON-SURFACE DRIPLINE:
- ⑧ BARB X BARB INSERT TEE:
- ⑨ TOTAL LENGTH OF SELECTED DRIPLINE SHOULD NOT EXCEED LENGTH SHOWN IN TABLE
- ⑩ FLUSH VALVE LOCATION
- ⑪ PVC RISER PIPE
- ⑫ 2"-3" DEPTH OF MULCH
- ⑬ FINISH GRADE

NOTES:
 1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.
 2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.
 3. PLACE THE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 4. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.
 5. WHEN USING 17MM INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.

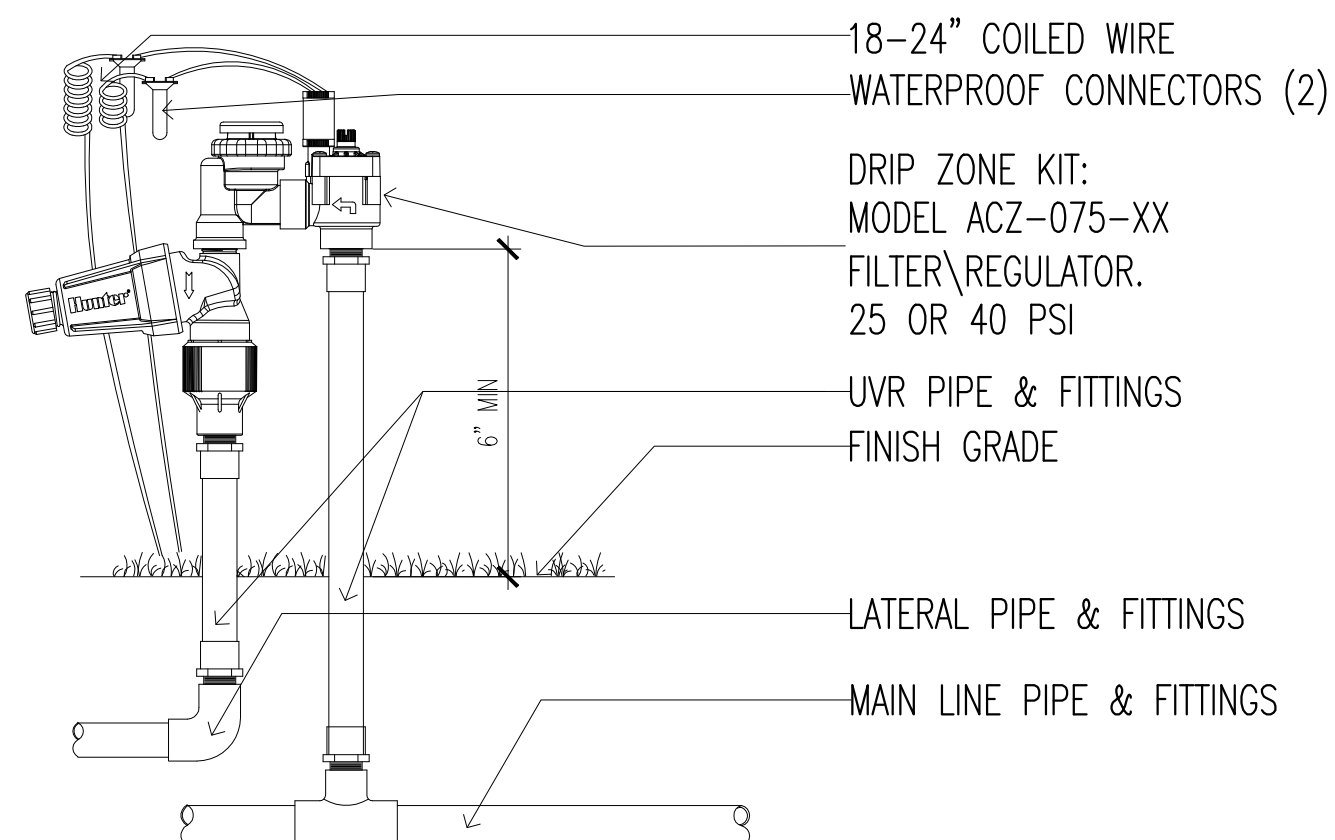


INLINE DRIP TUBING ON GRADE - CURVED LAYOUTS



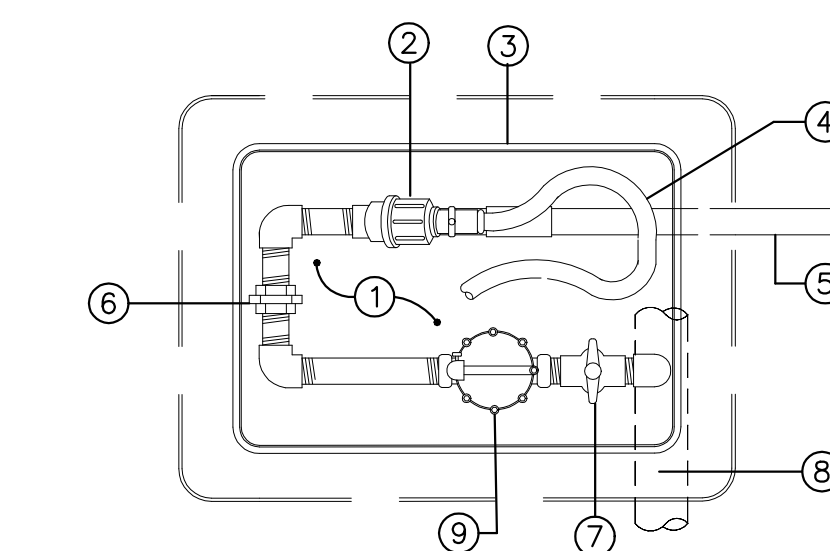
- ① FINISH GRADE
- ② THREAD X COMPRESSION ELBOW
- ③ SUBSURFACE TUBING, INSTALL ON GRADE AND STAKE AT 2" O.C. USING SALCO DTS-30-750 TUBING STAKES.
- ④ 10" THREADED PVC SCH. 40 RISER
- ⑤ PVC SCH. 40 TEE (S X S X T) IN EXHAUST HEADER TO FLUSH VALVE ASSEMBLY
- ⑥ PVC SCH. 40 TEE (S X S X T) IN INTAKE HEADER
- ⑦ HEADER DEPTH REFER TO SPECIFICATIONS
- ⑧ SALCO DTS-30-750 TUBING STAKES

INLINE DRIP TUBING ON GRADE



NOTE
 ANTI-SIPHON VALVES SHOULD BE INSTALLED 6-12" ABOVE THE HIGHEST SPRINKLER HEAD WITHIN THE ZONE, OR, ACCORDING TO LOCAL CODE.

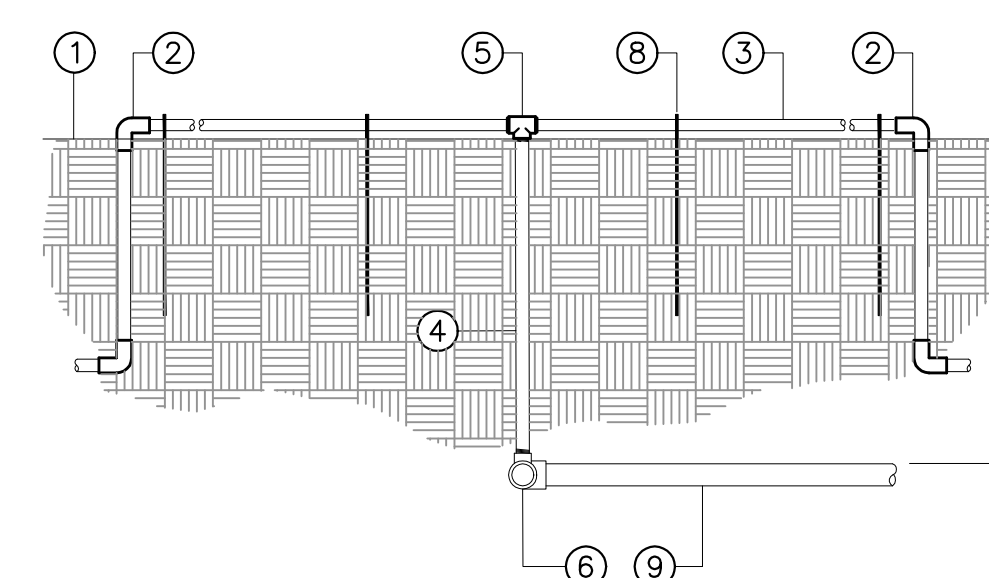
CONTROL VALVE ASSEMBLY (DRIP)



- ① 3/4" CRUSHED GRAVEL SUMP (INSTALL SOIL SEPARATOR FABRIC OVER SUMP)
- ② AGRICULTURAL PRODUCTS INC. MODEL 4E-3/4-FILTER WITH 150 MESH SCREEN
- ③ RECTANGULAR VALVE BOX, GREEN IN COLOR WITH PURPLE RECYCLED LABEL RIVETED ON THE LID. BRAND LID WITH CONTROLLER AND STATION NUMBER. VALVE BOX TO REST ON GRAVEL SUMP
- ④ 18" X 12" DIA. FLEX HOSE - CONNECT TO FILTER FLUSH PORT
- ⑤ PVC LATERAL LINE PIPE
- ⑥ PVC UNION (LINE SIZE)
- ⑦ PVC BALL VALVE (LINE SIZE)
- ⑧ PRESSURE SUPPLY LINE
- ⑨ ELECTRIC REMOTE CONTROL VALVE (IRRITROL 700 ULTRA FLOW SERIES)

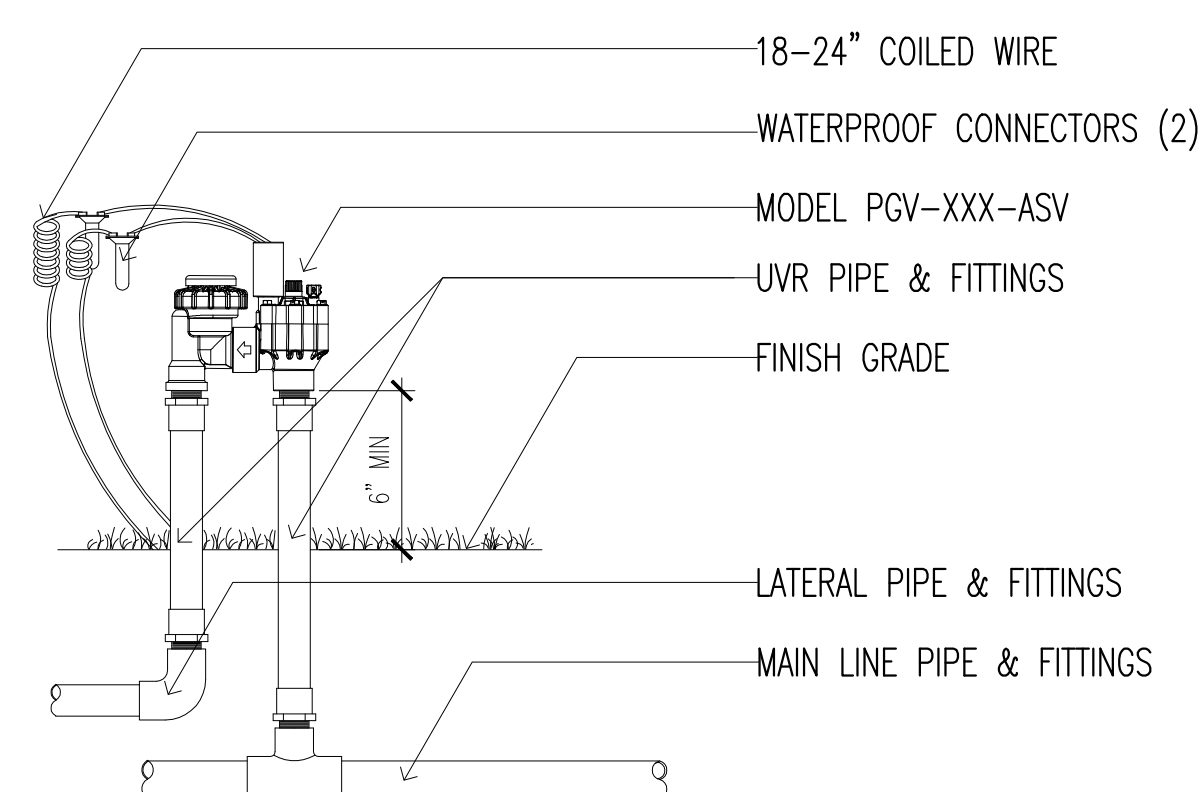
NOTE: ALL PIPE AND FITTINGS USED WITH RECYCLED WATER SHALL BE PURPLE IN COLOR.

DRIP VALVE ASSEMBLY



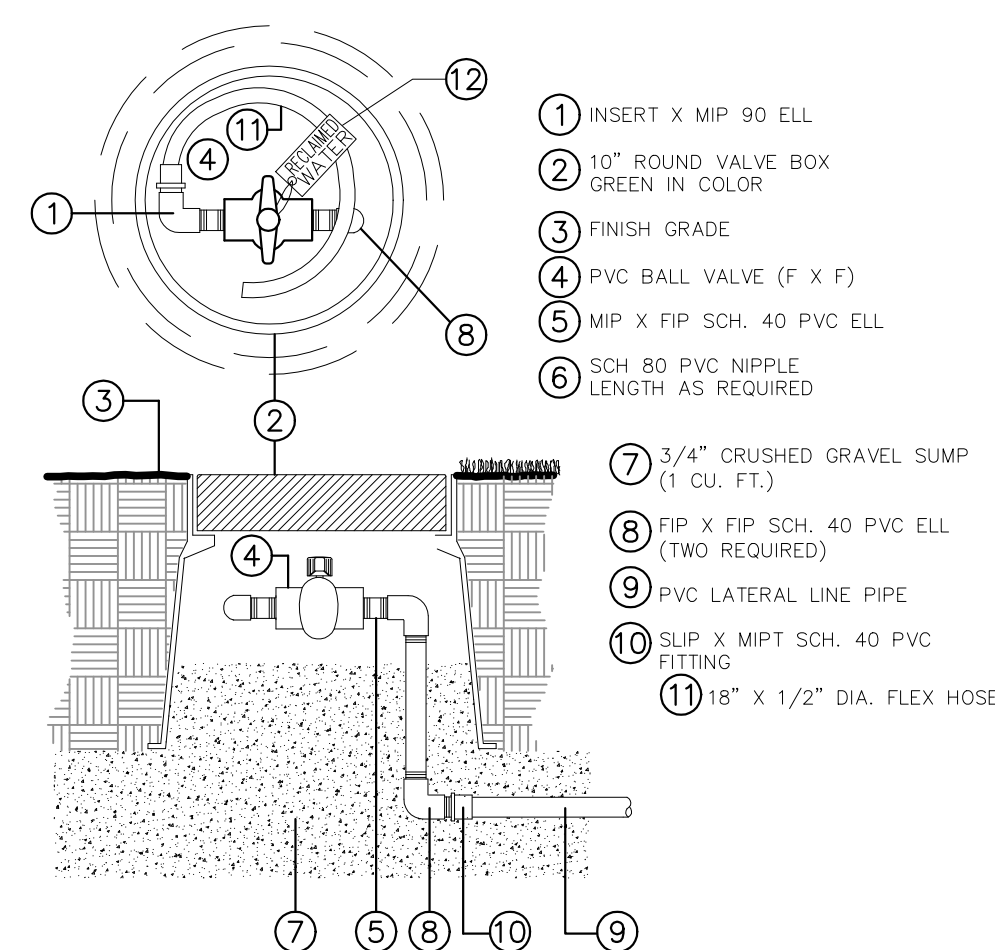
- ① FINISH GRADE
- ② 3/4" PVC SCH 40 COMPRESSION BY SLIP ELBOW TO 3/4" PVC NIPPLE TO FLUSH VALVE ASSEMBLY.
- ③ NETAFIRM TECHLINE DRIPPER TUBE ON GRADE AND STAKE AT 4" O.C. USING NETAFIRM TLS6 SOIL STAPLE.
- ④ 12" THREADED PVC SCH. 40 RISER
- ⑤ PVC SCH. 40 TEE (S X S X T) WITH COMPRESSION FITTINGS
- ⑥ PVC SCH. 40 TEE (S X S X T) IN LATERAL LINE PIPE
- ⑦ LATERAL LINE DEPTH, REFER TO SPECIFICATIONS
- ⑧ NETAFIRM TLS6 SOIL STAPLE
- ⑨ LATERAL LINE PIPE

INLINE DRIP TUBING ON GRADE



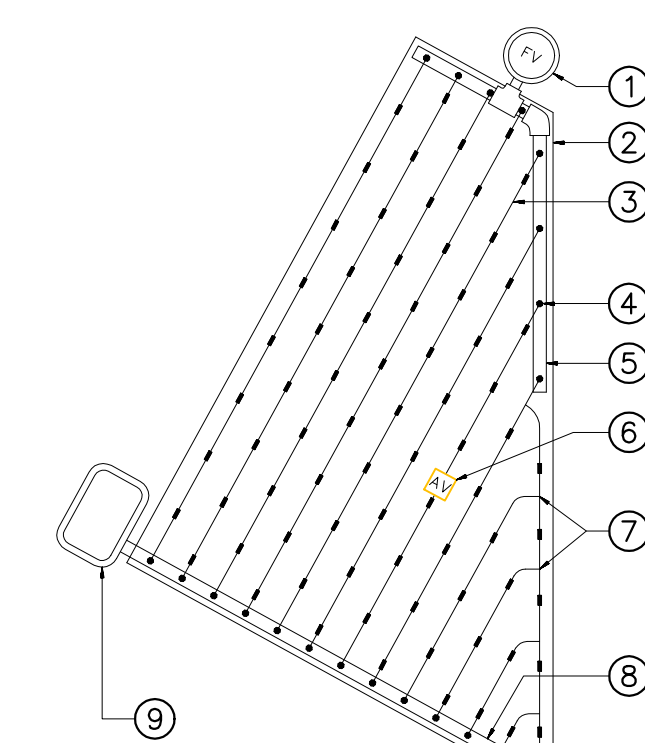
NOTE
 ANTI-SIPHON VALVES SHOULD BE INSTALLED 6-12" ABOVE THE HIGHEST SPRINKLER HEAD WITHIN THE ZONE, OR, ACCORDING TO LOCAL CODE.

CONTROL VALVE ASSEMBLY



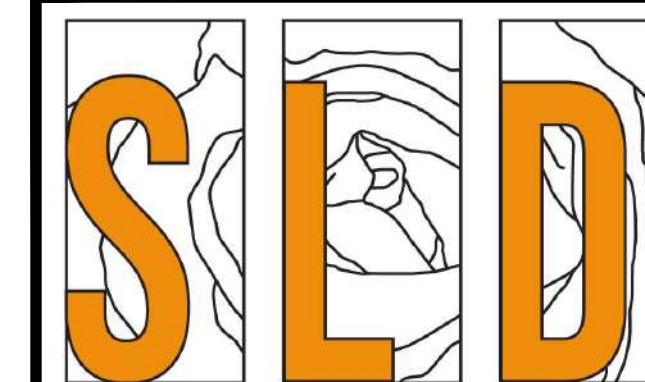
NOTE: ALL PIPE AND FITTINGS USED WITH RECYCLED WATER SHALL BE PURPLE IN COLOR.

FLUSH VALVE



- ① ZONE FLUSH VALVE PLUMBED TO PVC (REFER TO FLUSH VALVE ASSEMBLY)
- ② AREA PERIMETER
- ③ NETAFIRM IRRIGATION TUBING. SEE IRRIGATION LEGEND FOR EMITTER SPACING
- ④ MANIFOLD CONNECTION (PVC TO ELBOW)
- ⑤ PVC FLUSH MANIFOLD
- ⑥ AIR/VACUUM RELIEF VALVE (PLUMBED TO GEOPLOW TUBING AT EACH HIGH POINT)
- ⑦ COMPRESSION TEE
- ⑧ PVC SUPPLY MANIFOLD
- ⑨ REMOTE CONTROL VALVE (REFER TO DRIP VALVE ASSEMBLY DETAIL)

INLINE DRIP TUBING LAYOUT



SAVAGE LAND DESIGN
 Landscape Architecture • Land Planning • Design

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14 UNIT MULTIFAMILY BLDG
 2512 CENTINELA AVE
 LOS ANGELES, CA 90064

No.	Revision / Issue	Date
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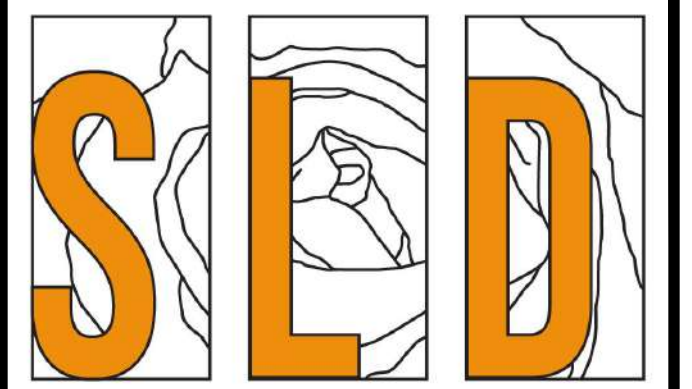


IRRIGATION
 DETAILS

Date 09-20-23

Scale
 Sheet 8 of 10

LI-5



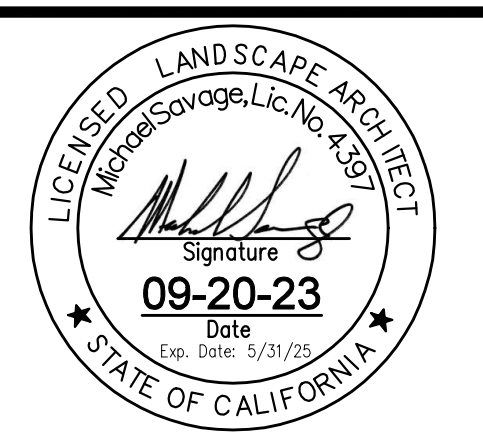
SAVAGE LAND DESIGN
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14 UNIT MULTIFAMILY BLDG

**2512 CENTINELA AVE
LOS ANGELES, CA 90064**

No.	Revision / Issue	Date



PLANTING LAYOUT PLAN

Date	09-20-23	Sheet	LP-1	
Scale	1/8"=1'-0"	9 of 10		
Sheet				

PLANTING LEGEND

SYMBOL	DESCRIPTION		SIZE/SPACING	QTY.	WUCOLS	MATURE SIZE (HxW)	TIME TO MATURITY	HYDROZL
SHRUBS								
⊙	SENECIO SERPENS	BLUE CHALKSTICKS	1 GAL @ 12" O.C.	38	L	1' X 2.5'	1-3 YRS	A
⊕	DIETES BICOLOR	FORTNITE LILY	1 GAL @ 30" O.C.	17	L	2' X 1'	1-3 YRS	A
⊕	PHORMIUM 'PINK STRIPE'	PINK STRIPE NEW ZEALAND FLAX	5 GAL @ 4' O.C.	6	L	3-6' X 3-6'	2-4 YRS	A
⊕	SALVIA GREGGII	AUTUMN SAGE	5 GAL @ 3' O.C.	3	L	3' X 3'	2-4 YRS	A
⊕	AGAVE DESMETTIANA 'VARIEGATA'	VARIEGATED SMOOTH AGAVE	5 GAL @ 3' O.C.	4	L	2-3' X 3-4'	2-4 YRS	A
TREES								
⊕	GELIERA PARVIFLORA	AUSTRALIAN WILLOW	24" BOX	1	L	25-30' X 20'	5-10 YRS	B

TREE CALCULATIONS	COMMON OPEN SPACE CALCULATIONS
(1) 24" BOX TREE PER 4 DWELLING UNITS	MINIMUM REQUIRED COMMON OPEN SPACE
NUMBER OF DWELLING UNITS: 14 UNITS	LANDSCAPE AREA: 25% OF COMMON OPEN SPACE
TREES REQUIRED: 4 TREES	COMMON OPEN SPACE AREA: 1347.26 SF
TREES PROVIDED: 5 TREE	COMMON OPEN SPACE LANDSCAPE AREA REQUIRED: 336.8 SF
GROUND LEVEL: 1 TREE	COMMON OPEN SPACE LANDSCAPE AREA PROVIDED: 351.3 SF
ROOF LEVEL: 4 TREES	GROUND LEVEL COMMON OPEN SPACE LA: 0 SF
(1) 24" BOX TREE PER 500 SQUARE FEET OF FRONT YARD LANDSCAPE AREA	ROOF LEVEL COMMON OPEN SPACE LA: 351.3 SF
FRONT YARD LANDSCAPE AREA: 267.9 SF	
TREES REQUIRED: 1 TREE	
TREES PROVIDED: 1 TREE	

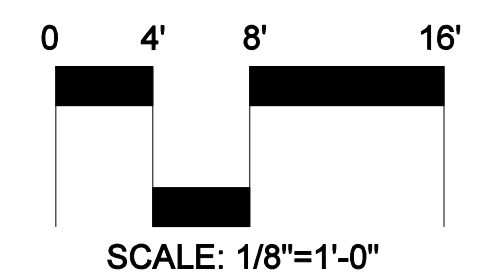
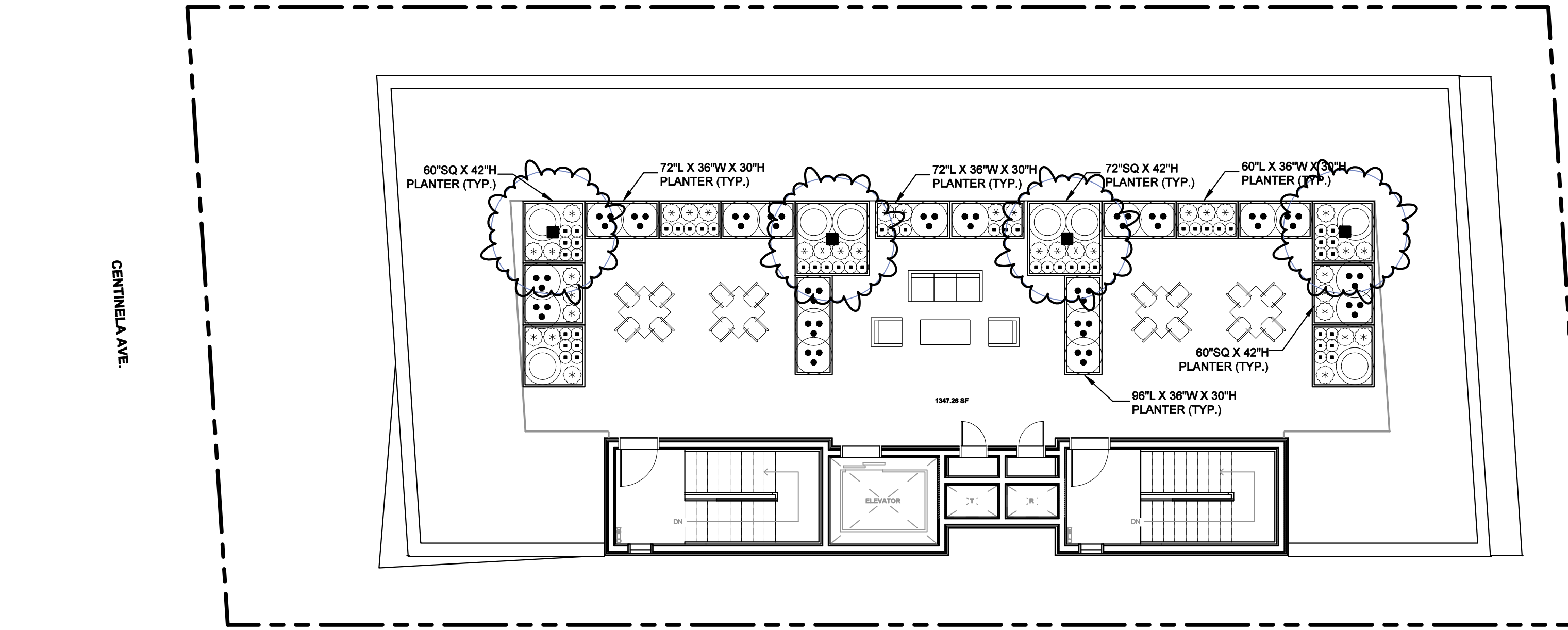
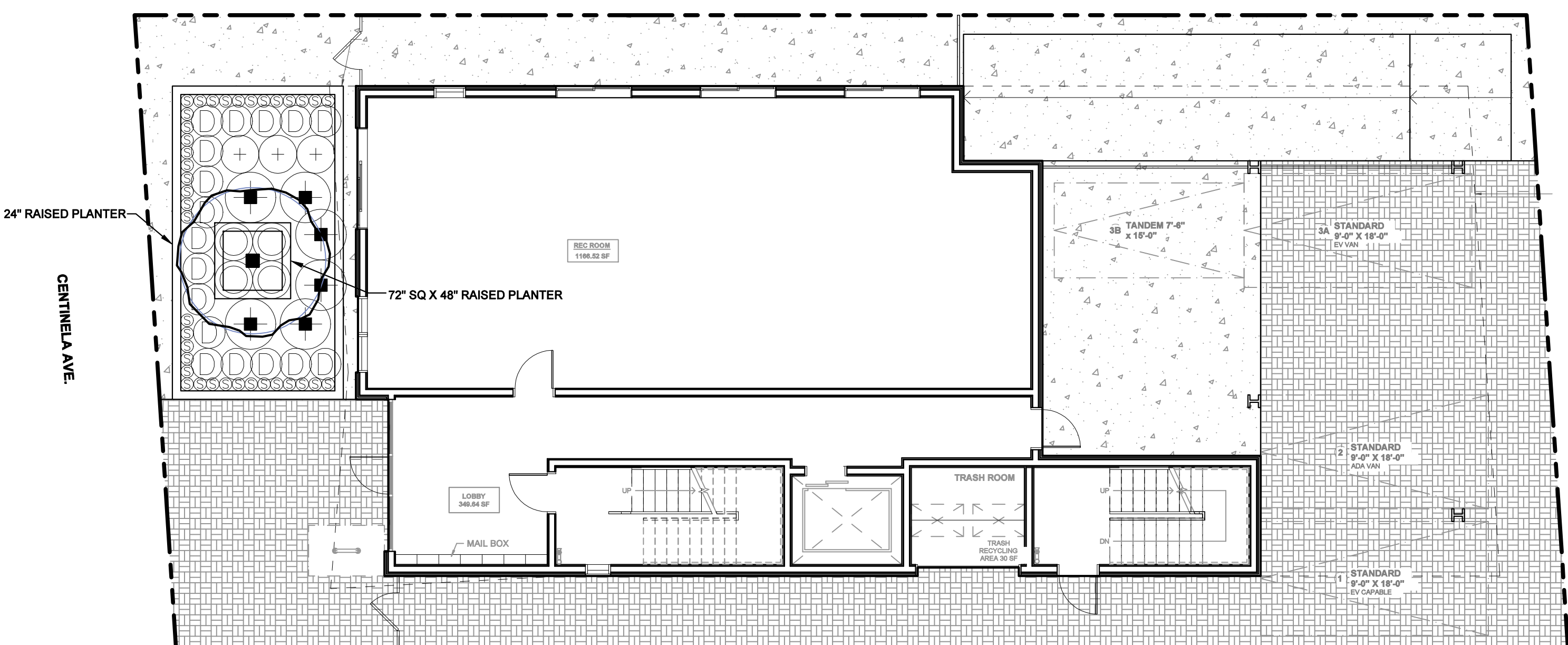
ROOF LEVEL PLANTING LEGEND

SYMBOL	DESCRIPTION		SIZE/SPACING	QTY.	WUCOLS	MATURE SIZE (HxW)	TIME TO MATURITY	HYDROZL
SHRUBS								
⊕	ECHEVERIA 'BLUE CURLS'	BLUE CURLS ECHEVERIA	1 GAL @ 12" O.C.	52	L	12" X 1-2'	1-3 YRS	A
⊕	ALOE STRIATA	CORAL ALOE	1 GAL @ 18" O.C.	36	L	18" X 1-2'	1-3 YRS	A
⊕	AGAVE DESMETTIANA 'VARIEGATA'	VARIEGATED SMOOTH AGAVE	5 GAL @ 3' O.C.	8	L	2-3' X 3-4'	2-4 YRS	A
⊕	PHORMIUM 'GOLDEN RAY'	GOLDEN RAY NEW ZEALAND FLAX	5 GAL @ 3' O.C.	20	L	2-3' X 3-4'	2-4 YRS	A
TREES								
⊕	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	4	L	25-30' X 20'	5-10 YRS	B

NOTE: ALL PLANTERS AVAILABLE THROUGH TOURNESOL SITEWORKS (510)-471-6269.
COLOR: BRONZE, FINISH: SMOOTH WITH PRE-DRILLED STANDARD CONFIGURATION DRAIN HOLES

NOTE: CONTRACTOR SHALL DRILL HOLES IN PLANTER SIDEWALLS AS NEEDED TO ALLOW FOR ELECTRIC CONDUIT AND IRRIGATION ROUTING. WATERPROOF CAULKING SHALL BE USED TO SEAL PENETRATION AFTERWARDS.
ADJACENT TOUCHING PLANTERS TO HAVE SCOOP FEATURE AND SEALED WITH SCOOP CONNECTION KIT.

DETAILS FOR PLANTERS LOCATED ON SHEET LP-2
SHRUBS AND/OR TREES SHALL BE CONTAINED WITHIN PERMANENT PLANTERS AT LEAST 30" IN DEPTH AND LAWN OR GROUND COVER SHALL BE AT LEAST 12" IN DEPTH.

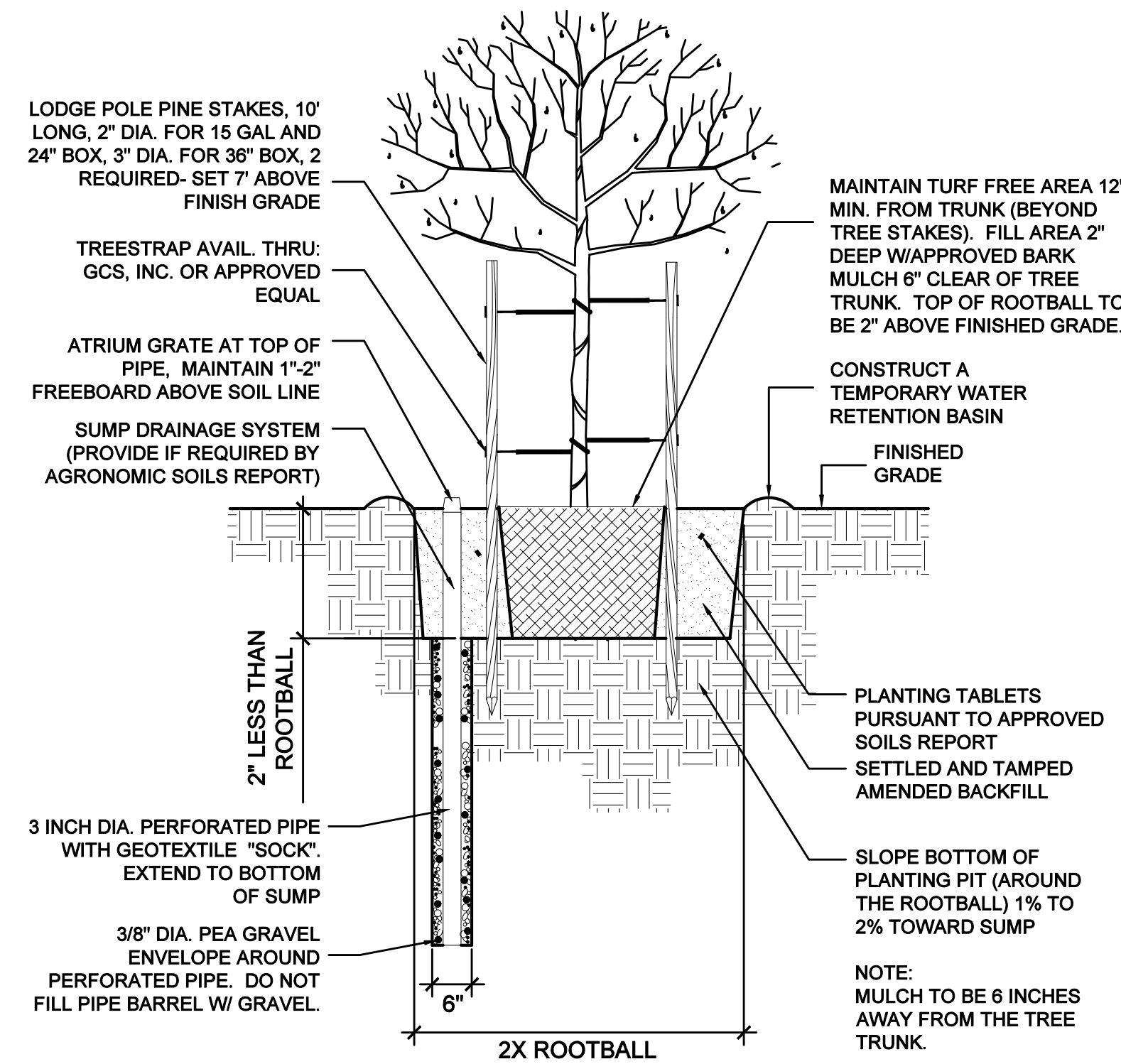


NORTH
SCALE: 1/8"=1'-0"

1. THE CONTRACTOR SHALL PROVIDE A WEED ABATEMENT PROGRAM TO ALL LANDSCAPE PLANTING AREAS PRIOR TO PLANTING. PER THE LANDSCAPE SPECIFICATIONS.
2. THE CONTRACTOR SHALL PROVIDE THE OWNER'S AUTHORIZED REPRESENTATIVE WITH PHOTOGRAPHS OF ALL PLANT MATERIALS NOT PROVIDED BY THE OWNER FOR APPROVAL PRIOR TO PURCHASE AND DELIVERY.
3. NO SUBSTITUTIONS SHALL BE ALLOWED WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
4. EXACT LOCATIONS OF PLANT MATERIALS SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. THE OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN THE FIELD.
5. ALL PLANT MATERIAL, UPON INSPECTION BY THE OWNER'S AUTHORIZED REPRESENTATIVE, SHALL BEAR LABELS VERIFYING SPECIES AND VARIETY TO MATCH THOSE ON THE PLANT LIST. THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY MATERIAL DEEMED TO BE UNACCEPTABLE BOTH AT THE TIME OF DELIVERY OR AFTER DELIVERY IF THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE IS NOT ON SITE AT THE TIME OF DELIVERY.
6. ALL SHRUB AREAS SHALL BE COVERED EVENLY WITH A THREE INCH (3") MIN. LAYER OF "0-2 FOREST FLOOR" AVAILABLE THRU: AGUINAGA FERTILIZER INC. OR APPROVED EQUAL. CONTRACTOR SHALL SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
7. NO SHRUB PLANTING SHALL TAKE PLACE UNTIL INSTALLATION OF THE IRRIGATION SYSTEM IS COMPLETE, FINAL GRADES HAVE BEEN ESTABLISHED, PLANTING AREAS PROPERLY GRADED/PREPARED AND THE WORK APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE. TREES SHALL BE SET PRIOR TO IRRIGATION SYSTEM INSTALLATION. CONTRACTOR IS RESPONSIBLE TO VERIFY APPROPRIATE FINAL GRADES PRIOR TO SETTING TREES.
8. TOP OF ROOTBALL FOR TREES AND SHRUBS SHALL BE A MIN. 2" ABOVE THE FINISH GRADE AT THE ORIGINAL PLACE OF GROWTH. REFER TO PLANTING SPECIFICATIONS.
9. THE CONTRACTOR SHALL PROVIDE MATCHING FORMS AND SIZES FOR ALL PLANT MATERIALS WITHIN EACH TYPE AND SIZE DESIGNATED ON THE DRAWINGS.
10. THE CONTRACTOR SHALL PROVIDE A 90 DAY MAINTENANCE PERIOD AFTER COMPLETION AND OWNER ACCEPTANCE OF PLANTING AND IRRIGATION WORK.
11. THE CONTRACTOR SHALL NOT BEGIN SAID MAINTENANCE PERIOD WITHOUT RECEIVING WRITTEN CONSENT FROM THE OWNER AND/OR HIS AUTHORIZED REPRESENTATIVE.
12. ALL WATERING BASINS SHALL BE REMOVED AT THE END OF THE MAINTENANCE PERIOD UNLESS OTHERWISE NOTED.
13. QUANTITIES LISTED ON THE CONSTRUCTION DRAWINGS OR THE PLANTING LEGEND ARE FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE QUANTITIES LISTED ON THE PLANS.
14. WHERE POSSIBLE TREES SHALL BE KEPT A MINIMUM OF 5'-0" FROM WALLS, FENCES, SIDEWALKS, CONCRETE CURBS AND ANY HARDSCAPE IN GENERAL. IF NOT POSSIBLE CONTACT THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE FOR EXACT PLACEMENT.
15. FINISH GRADE IN SHRUB AREAS SHALL BE 2" BELOW PAVED SURFACES, 3" WHERE BARK MULCH IS TO BE USED, AND LAWN AREAS SHALL BE 1" BELOW PAVED SURFACES. ALL PLANTING AREAS SHALL DRAIN AT 2% MINIMUM UNLESS OTHERWISE NOTED ON THE GRADING PLANS.
16. INSTALL LINEAR ROOT BARRIERS FOR ALL TREES WITHIN 5' OF ANY CONCRETE FLAT WORK, CURB, GUTTER, UTILITY, STRUCTURES, ETC. ROOT BARRIER SHALL BE AS SPECIFIED WITHIN THE PROJECT SPECIFICATIONS AND INSTALLED PER DETAIL THIS SHEET.

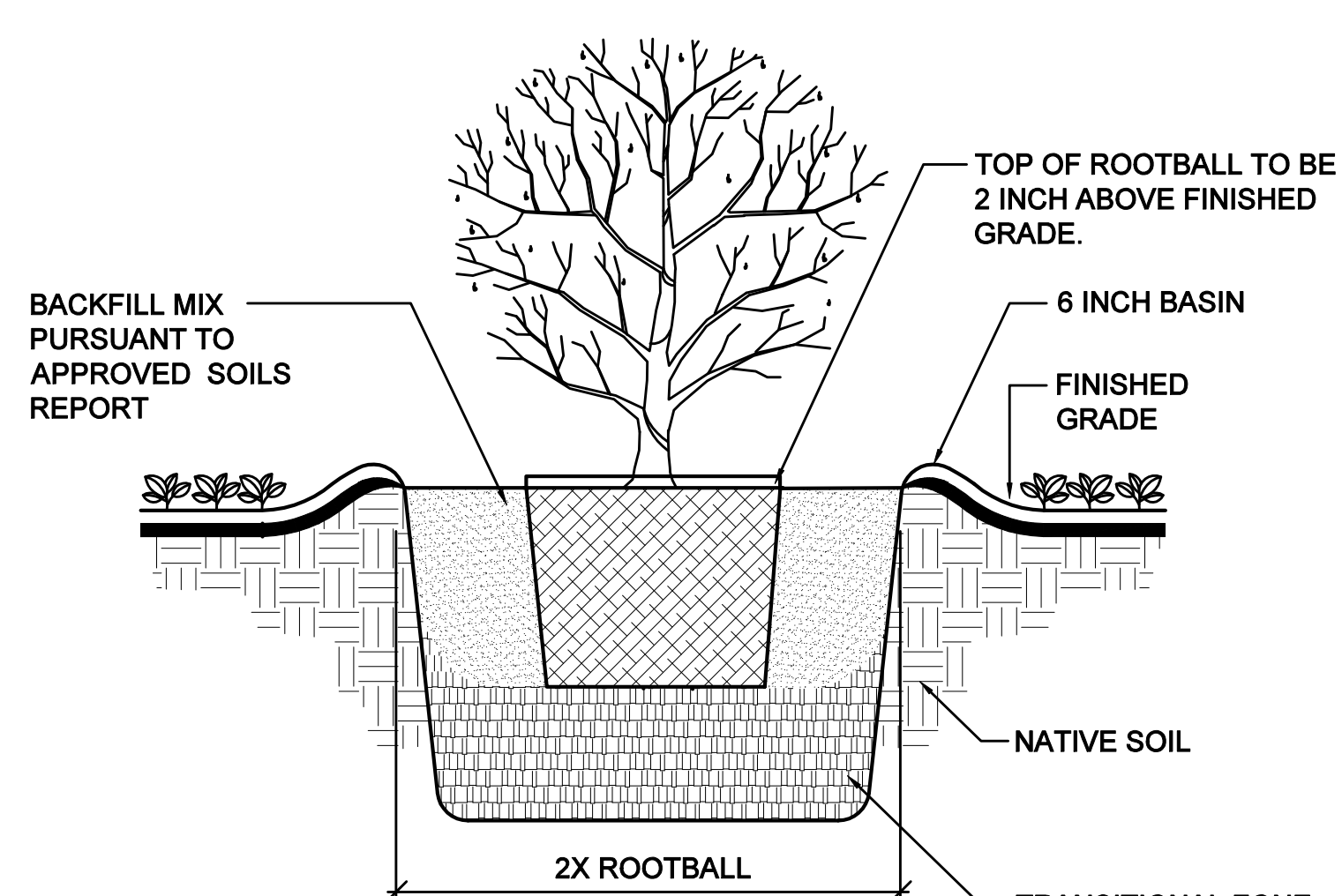
17. CONTRACTOR SHALL ADHERE TO ANY SPECIAL WORKING CONDITIONS, IE. NOISE, TIME OF WORK, LIMIT OF WORK, ETC. SET FORTH BY THE COUNTY OF ORANGE, AND/OR OTHER GOVERNING AGENCIES, AND TO COORDINATE WITH THE GENERAL CONTRACTOR FOR ADDITIONAL INFORMATION/REQUIREMENTS.
18. AGRONOMIC SOIL ANALYSIS WILL BE PROVIDED BY THE LANDSCAPE CONTRACTOR. SOIL TEST SHALL INCLUDE A PERCOLATION TEST AND DRAINAGE RECOMMENDATIONS.
19. SOIL PREPARATION AND BACKFILL FOR PLANTING PITS SHALL BE AS RECOMMENDED BY THE AGRONOMIC SOILS REPORT. CONTRACTOR SHALL INCLUDE COST FOR BACKFILL AND SOIL PREPARATION IN HIS BID.
20. SOIL AMENDMENTS SHALL BE APPLIED PER AGRONOMIC SOIL REPORT SPECIFICATIONS.
21. ON-GRADE TREES 24" BOX SIZE OR LARGER SHALL RECEIVE AN AUGURED SUMP AS DESCRIBED IN THE TREE PLANTING DETAILS, OR OTHER DRAINAGE METHOD AS RECOMMENDED BY THE AGRONOMIC SOILS REPORT.
22. APPLY PRE-EMERGENT HERBICIDE ("EPTAM" OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS TO SHRUB AREAS ONLY. APPLY 1"-2" WATER FOLLOWING APPLICATION. CONTACT HERBICIDE ("RAD-E-CATE 35" OR EQUAL) SHALL BE APPLIED TO LAWN AREAS ONLY FOLLOWING A 14 DAY MOISTENING PERIOD TO ENCOURAGE WEED GERMINATION. REMOVE ALL WEEDS AND RESIDUE FROM SITE.
23. ALL ROOTBALLS SHALL BE THOROUGHLY WATERED PRIOR TO INSTALLATION.
24. ALL PLANTING SHALL CONFORM WITH ALL LOCAL CODES AND REGULATIONS.
25. FINAL LOCATION OF ALL TREES SHALL BE VERIFIED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION/ PIT EXCAVATION.
26. CONTRACTOR SHALL LIST ANY DOLLAR AMOUNT FOR ADDITIONAL PLANT MATERIALS THAT ARE TO BE SELECTED BY THE LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION.

27. THE CONTRACTOR SHALL INCLUDE IN HIS BID COSTS AS NECESSARY FOR PENETRATING THROUGH HARD PAN LAYER WHEN IT IS ENCOUNTERED UNDER TREE AND PALM PLANTING PITS. THE PENETRATION THROUGH THE CALICHE OR HARD PAN LAYER SHALL ALLOW WATER TO DRAIN OUT OF THE PLANTING PIT. SHOULD THE HARD PAN LAYER BE TOO DEEP FOR AUGERING, THE LANDSCAPE CONTRACTOR SHALL DEVISE A DRAINAGE SYSTEM APPROVED BY THE LANDSCAPE ARCHITECT THAT WILL ENSURE PROPER DRAINAGE FROM PLANTING PITS. THE LANDSCAPE CONTRACTOR WILL SUBMIT A UNIT COST FOR ANY SPECIAL DRAINAGE SYSTEM.
28. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
29. PLANT MATERIAL SIZES SPECIFIED IN THE PLANTING LEGEND SHALL MEET THE GENERAL SIZE STANDARDS OF HEIGHT, SPREAD, AND OTHER RELEVANT DATA FOR THE ACCORDING CONTAINER SIZES AS SPECIFIED BY THE PLANT SIZE SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).



TREE STAKING

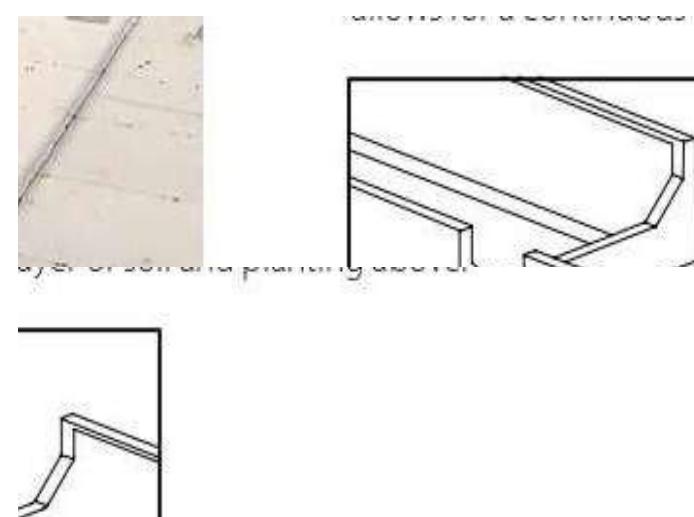
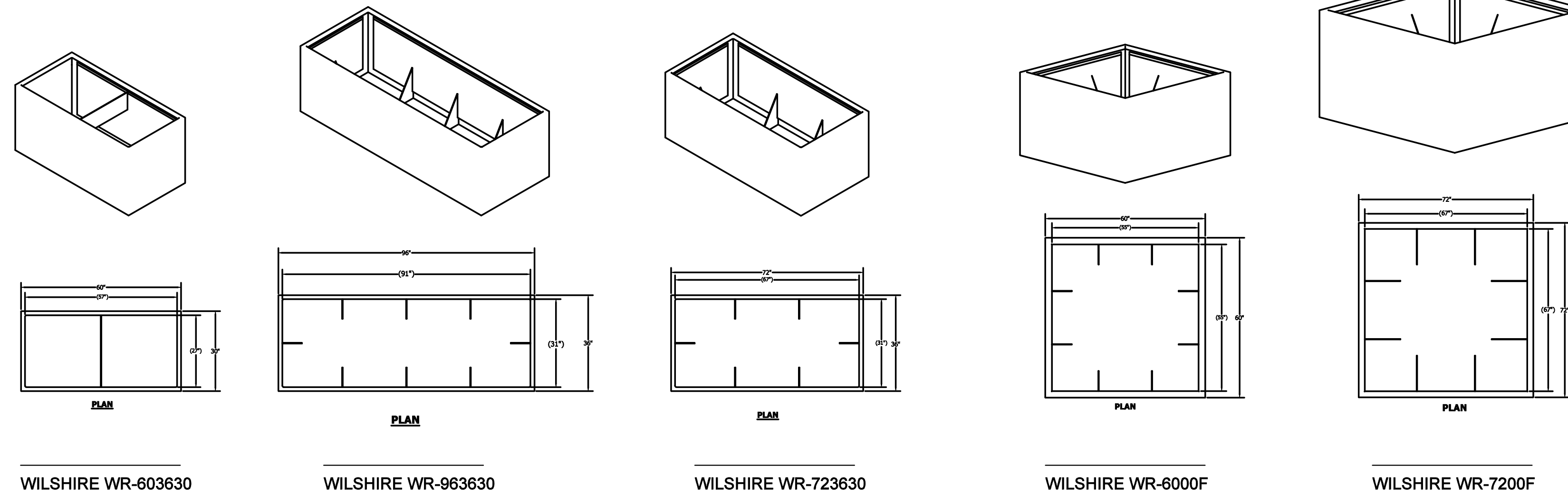
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SHRUB PLANTING

A

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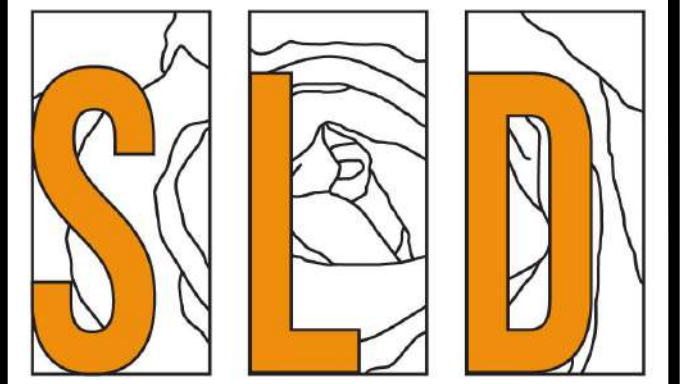


alth. Typically, our FRP pots are delivered urnesol Siteworks is pleased to pre-drill drain er. Standard drain holes are 1-5/8" diameter. inn hole size or quantities, please speak with

TOURNESOL SITEWORKS

C

GENERAL PLANTING NOTES



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No.	Revision / Issue	Date



PLANTING
DETAILS

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Scale			
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